

Part

B

Residential Controls

Holroyd Development
Control Plan 2013

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Introduction

Land covered by this Part

This Part applies to development types detailed within this Part and for the development of land zoned Residential under Holroyd Local Environmental Plan 2013.

Relationship of Part B Residential to Holroyd Development Control Plan 2013

Part B of Holroyd DCP 2013 shall be read in conjunction with the following Parts of Holroyd DCP 2013, which contain objectives and development controls that may relate to development in this Part:

Part A - General Controls

Part C - Commercial, Shop Top Housing and Mixed Use Development Controls

Part D - Industrial Controls

Part E - Public Participation

Part F - Advertising and Signage Controls

Part G - Places of Public Worship Controls

Part H - Heritage and Conservation Controls

Part I - Child Care Centre Controls

Part J - Site Specific Controls

Part K - Holroyd Gardens Controls

Part L - Town Centre Controls

Part M - Merrylands Centre Controls

Part N - Transitway Station Precinct Controls

Part O - Guildford Pipehead Site Controls

Part R - Tamplin Road Reserve

Definitions

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I. General Residential Controls

I.1. Building Materials

Objectives

01. To ensure detailing and materials of residential development maintain and enhance the character of the locality.
02. To consider the predominant colours and materials of surrounding buildings when constructing new dwellings or additions to dwellings but to also allow emerging character areas to establish a predominant building material and colour theme.
03. To ensure materials suitable for the purpose of residential development used within residential developments.
04. To ensure that building materials do not interfere with the amenity of residents in the locality.
05. That the future maintenance and short and long term appearance of materials proposed for residential development are considered.
06. That consideration is given to any environmental impacts of building materials.

Development Controls

- C1. Building materials for new residential development and for additions to existing residential development must be compatible with the streetscape and character of its locality.
- C2. Building materials and colours used for additions should integrate/blend with the original structure. This may require the upgrading of the materials of the original structure in order to enable quality additions.
- C3. The use of light coloured galvanised iron and other reflective materials is discouraged due to its ability to cause glare. If these materials are proposed, applicants are required to demonstrate to Council that the materials will not adversely affect residents' enjoyment of their neighbourhood.
- C4. Use of black roof tiles within residential developments is not permitted.

Note:

- Building materials should be durable and cost effective.
- A schedule of colours and finishes for proposed residential dwellings shall be provided as part of a development application.

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1.2. Fences

Objectives

01. To define the boundaries and edges between public and private land and between areas of different function.
02. To ensure fences complement and conserve the visual character of the street and neighbourhood.
03. Protect the privacy and amenity of residents through appropriate fencing, whilst maintaining the streetscape presentation of the development.
04. To ensure that front fencing does not interrupt views from the street to front setbacks and facades.
05. To provide safe and effective sight lines for pedestrian and vehicular movements.
06. To require fencing at a human scale by avoiding long continuous walls.
07. To ensure that fencing is at a form and scale that does not lead to the disjoining and fragmentation of the streetscape.
08. To encourage use of front gardens by residents for informal social interaction.
09. Provide appropriate fencing where noise attenuation is required.
010. Provide fencing on corner lots that is robust, long lasting and is not easily vandalised.

Development Controls

Note: State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 may apply in some instances.

General

- C1. Proposed fencing styles and characteristics shall be associated with housing styles that characterise different areas of Holroyd.
- C2. The design of fences should relate to and be integrated with the design of the residential development.
- C3. Fencing must not contain barbed wire, chain wire, razor wire, broken glass or be electrified.

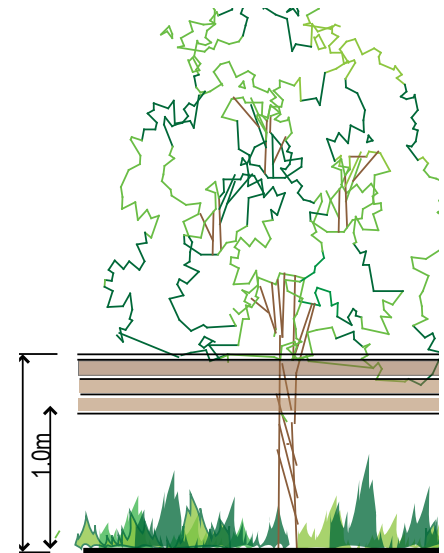


Figure 1. Front fence height.

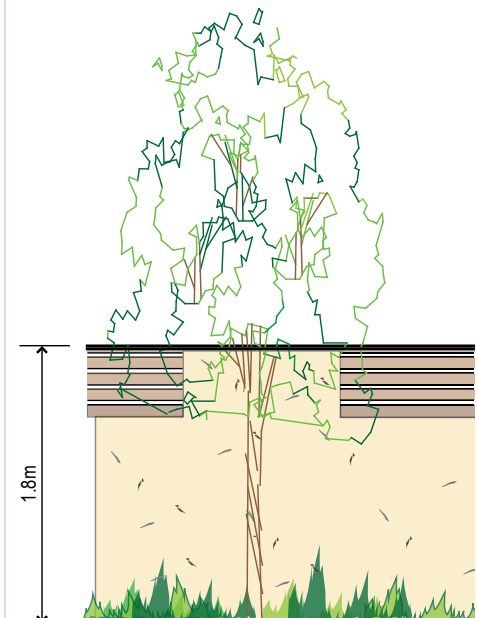


Figure 2. Front fence- noise attenuation

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- C4. Where fences are required to accommodate overland flow paths, they must be provided with ground clearances or hinged gates.
- C5. Fences should be stepped with the topography of the site.
- C6. All fencing is to be constructed so that it does not prevent or impede the natural flow of stormwater drainage and/or surface flows.

Note:

- Proponents are advised to talk to all adjoining neighbours at an early stage and consult the Dividing Fences Act 1991. Matters and disputes regarding boundary fencing are not within Councils jurisdiction of compliance.
- Proposed fencing for heritage items shall comply with Part H of this DCP.
- Detailed flood construction development controls are within Part A of this DCP.

Front Fences

- C7. Front fences should be low and transparent and shall be sympathetic with the prevailing materials and detailing of surrounding properties.
- C8. Sheet metal fencing or pool style fencing is not to be used at the street frontage, forward of the building line or in locations that have an interface with the public domain.
- C9. The articulation and/or detailing of front fences through material variation, pillar and post design and use of transparency are encouraged in front fences to provide visual interest.
- C10. Front fences are to be no higher than 1.5 metres above existing ground level, between the building line and the street. Support posts are permitted to extend to 1.8 metres (Figure 1).
- C11. Front fences are permitted to be solid up to a height of 1 metre and are to be at least 50% transparent to 1.5 metres.
- C12. Council will accept the use of planting or planter boxes within a front fence design.
- C13. Where noise attenuation or protection of amenity requires a higher fence, front fences are permitted to a maximum height of 1.8 metres with appropriate integration with landscaping (Figure 2). Such fences are permitted on the following roads:
- Cumberland Highway
 - Great Western Highway

Note: Variations to the front fence standards may be considered in high traffic or noise areas where it can be



Figure 3. Side and corner lot fencing

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demonstrated that use of suitable building materials and internal layout will not reduce the noise to a satisfactory level. An acoustic report carried out by a suitably qualified acoustical engineer will be required to be submitted in such cases.

- C14.** Gates located on the front fence shall be of materials that are consistent with the front fence and shall not open onto a roadway or public space.
- C15.** Continuous blank walls shall be avoided.

Side and Rear Fences

- C16.** Council requires the construction of side and rear fences for developments, where a suitable fence does not exist, or the current fence in the opinion of Council, is in poor condition. For Multi dwelling and Residential Flat developments, Council requires the construction of new side and rear fencing.
- C17.** Side and rear fencing for residential development should be a minimum height of 1.5 metres and a maximum height of 2.1 metres above existing ground level, as agreed with adjoining property owner/s.
- C18.** Side fences forward of the front building line are to be no higher than 1.5 metres. (Figure 3)
- C19.** In situations where the boundary fence is proposed on top of a retaining wall, the height of the fence shall not exceed a maximum of 2.4 metres as measured from the lower adjacent ground level.
- C20.** Rear and side private open space areas shall be enclosed by a fence with a minimum height of 1.8 metres or as otherwise agreed with the adjoining owners.

Corner lot and Secondary Street Fences

- C21.** Sheet metal fencing (i.e. colorbond) is not permitted for corner lot and secondary street fencing.
- C22.** Side fences located forward of the front façade are to be a maximum height of 1.5 metres.
- C23.** Fencing shall be constructed of durable materials and may include opportunities for planting or planter boxes to be incorporated within the fence design.
- C24.** For corner sites, the maximum construction height for walls, fences and landscaping must be 900mm at the street corner of the allotment in an area measuring 1.5 metres x 1.5 metres from the corner. This will assist sight lines for pedestrian and vehicular movements.

Swimming Pool Fencing

- C25.** Swimming pool fencing must comply with the Swimming Pools Act 1992 and Australian Standard 1926.

Note: Further detailed controls for swimming pool and spa pool fencing are contained within Section 2.8 of this Part.

On Site Detention System Fencing

- C26.** The fencing of On Site Detention basins (OSD) in front setbacks is not permitted.

1.3. Views

Objectives

01. To have regard, wherever possible, for the obstruction of existing significant and district views from adjoining buildings when developing/redeveloping for the purposes of residential uses.
02. To protect public views and vistas from streets and public places.
03. To design development in a way which will maintain, or create access to significant and district views enjoyed from other buildings or public places and allow for appropriate view sharing.

Development Controls

- C1. Where significant and/or district views are currently enjoyed, or where views may be reasonably created, the design of development shall be designed to minimise the obstruction of such views.
- C2. Where the height and bulk of a development is likely to block a significant and/or district view, amendments to residential development proposals will be required, to retain, at least part of that view.

Note:

- The retention of views, however, should not preclude reasonable development rights.
- Building setbacks, gaps between buildings and minimal floor to ceiling heights should be used in order to minimise the obstruction of views.

1.4. Privacy

Objectives

01. To provide a high level of visual and acoustic privacy for residents and neighbours in dwellings and private open spaces.
02. To provide personal and property security for residents and visitors.
03. To ensure that building design practises overcome overlooking problems.
04. To ensure that the design of dwellings and the use of specific building materials provide acoustic privacy.
05. To require special consideration of the impact of both visual and acoustic privacy for developments located near railway lines and busy roads.
06. To require specific sources of noise within a development, such as parking and driveway areas, are designed to mitigate any potential privacy impacts.
07. To implement landscaping measures that to increase visual privacy.
08. To require, where necessary, acoustic reports to be provided, and their findings implemented in the design of development.

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Development Controls

Visual Privacy

- C1. The windows of dwellings are to be located so they do not provide direct and close views into the windows of habitable rooms and private open spaces of adjoining dwellings.
- C2. With the exception of residential flat buildings, Window sills of upper floor habitable rooms (excluding bedrooms) shall have a minimum height of 1500mm.
- C3. Window sills shall have a maximum height of 1500mm are required in ground floor living areas located higher than 1 metre above existing ground level and within 6 metres of the property boundary.

Note:

- The placing of windows shall be based on the detailed site analysis prepared for the development proposal.
 - The use of windows which are narrow, translucent or obscured for upper floors and bathrooms is recommended.
 - Further design controls for screening residential flat buildings are contained in section 6 of this Part.
- C4. Building design elements shall be used to increase visual privacy. Elements include: recessed balconies and/or vertical screens or fins between adjacent balconies, fencing, vegetation, louvres and pergolas which limit overlooking both horizontally and vertically to habitable rooms and/or private open space (Figure 4).
 - C5. Where a proposed deck overlooks outdoor living areas of adjacent dwellings, suitable screening is to be provided, at a minimum height of 1500mm.
 - C6. Landscaping shall be designed to provide screening and filtering for control of privacy and to reduce overlooking of dwellings.
 - C7. Attics are only permitted in dwellings where attics are located to face the street, directly face another element of the public domain such as a park, face onto an internal roadway within a development (i.e. multi dwelling housing development) or face onto a laneway and do not impact neighbouring properties.
 - C8. Any proposed attic windows are not to overlook

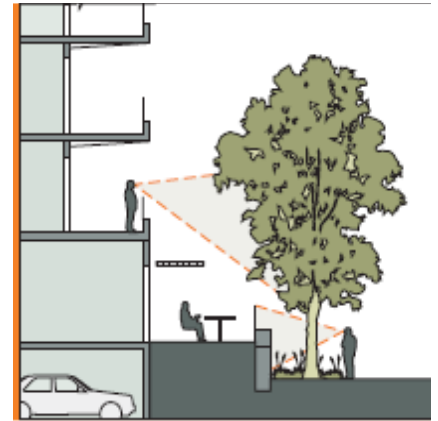


Figure 4. Visual privacy for balconies

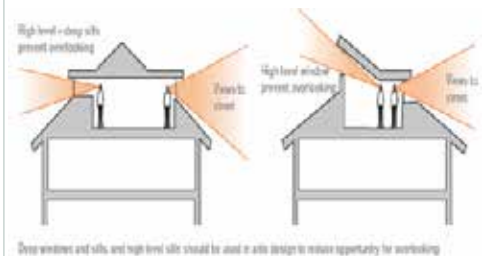


Figure 5. Dormer windows in attics

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windows of adjacent dwellings or their private open spaces. An outlook to the street should be provided from attic windows where appropriate (Figure 5).

- C9.** Where a dormer window is proposed to face an internal roadway, sill heights are to be 1500mm high.

Acoustic Privacy- General

Note: All development shall comply with the requirements of the Building Code of Australia (BCA) which deal with noise transmission.

- C10.** Developments shall utilise the site and building layout to maximise the potential for acoustic privacy by providing adequate building separation within the development and from neighbouring buildings.

- C11.** Where a property is adjacent to a railway or arterial road, an acoustic report conducted by a suitably qualified acoustic consultant is required to be submitted to Council. The acoustic report shall provide measurements of noise impacts upon proposed dwellings and make specific recommendations for the attenuation of noise to currently recognised levels conducive to reasonable residential amenity. Compliance with the maximum design sound levels recommended by the relevant Australian Standard. Recommended design sound levels and reverberation times for building interiors, as follows:

- Recreation areas- 40dB(A)
- Sleeping areas- 35dB(A)
- Other habitable rooms- 40dB(A)

Note: Additional information and/ or reports may be required for development adjoining a railway line. Applicants are advised to contact State Rail or the Rail Infrastructure Corporation for further information on their requirements.

- C12.** Where dwellings or dwelling additions are proposed within close proximity to busy roads and rail corridors, entries, halls, storage rooms, bathrooms and laundries should be located on the noise affected side of each dwelling and should be able to be sealed off by doors from living areas and bedrooms where practicable, whilst maintaining good housing design and building appearance.
- C13.** Where dwellings are proposed within close proximity to busy roads and rail corridors, appropriate materials with acoustic properties should be incorporated such as solid core doors with seal vents and insulation, suitably treated glazing and enclosed balconies.
- C14.** Communal courtyards and paved areas (e.g. vehicle driveways) shall be designed to minimise reflected noise.
- C15.** Air conditioners, swimming pool pumps and the like are not to exceed 5dba above background noise levels and should not be audible from habitable rooms of neighbouring dwellings.

Note: Air conditioners, swimming pool pumps and the like shall comply with the protection of the environment operations act and noise regulation.

Acoustic privacy- Multi dwelling housing and Residential flat buildings

- C16.** Terraces, townhouses, villas and apartments shall be arranged within a development to minimise noise transition between dwellings by:
- Locating busy, noisy areas next to each other and quieter areas next to other quiet areas (i.e.

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- living rooms with living rooms, bedrooms with bedrooms).
 - Using storage or circulation zones within an apartment to buffer noise from adjacent apartments, mechanical services or corridors and lobby areas.
 - Minimising the amount of party (shared) walls with other dwellings/apartments.
- C17.** Internal apartment layout shall be designed to separate noisier spaces from quieter spaces by grouping uses within an apartment (i.e. bedrooms with bedrooms and service areas like kitchen, bathroom, and laundries together).
- C18.** Conflicts between noise, outlook and views shall be resolved by using design measures including:
- Double glazing;
 - Operable screened balconies;
 - Continuous walls to ground level courtyards where they do not conflict with streetscape or other amenity requirements.
- C19.** Balconies are permitted along side boundaries of residential flat buildings, as long as they meet the minimum separation distances as required in this DCP.
- C20.** Reduce noise transmission from common corridors or outside the building by providing seals at entry doors.
- C21.** The maximum amount of planting and grassed areas should be provided around the dwelling where a large amount of hard paving is necessary in connection with driveways, turning or parking areas, such should, if practicable, be broken up by planting and grassing.
- Note:
- Noisy walking surfaces such as suspended timber, metal decks and tiling, and reflective internal surfaces to hallways or other communal areas are to be avoided.
 - Plumbing noise between dwellings and between buildings should be eliminated.
- C22.** Developments shall be designed to locate driveways, carports or garages away from bedrooms.
- Balconies and decks (excluding Residential Flat Buildings)
- C23.** Balconies shall not extend beyond the required setback.
- C24.** Balconies to the side and rear facades are permitted in Single dwellings, Attached Dwellings and dual occupancies, where they are a maximum of 2.5 metres wide and 12m² in area.
- C25.** Balconies to the rear facades of attached dwellings may be permitted, where they are a maximum of 2 metres wide, 10m² in area.
- C26.** All balconies and decks higher than 800mm above existing ground level shall incorporate privacy measures to ensure that the privacy of surrounding residents is not unduly reduced,
- Note:
- Privacy measure may include (but are not limited to:)
- screening in the form of walls, screens or louvers
 - landscape planting
 - lattice or similar on top of side and rear fencing

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I.5. Landscaping and Open Space

Objectives

01. To maintain and enhance the existing streetscape and landscaped character of the residential neighbourhoods in Holroyd local government area and encourage the planting of appropriate vegetation for aesthetic, ecological and practical reasons.
02. To retain existing trees wherever possible.
03. To ensure that landscaping and private open space provided for dwellings is defined, has good solar access, optimises usability, privacy, accessibility, neighbours amenity and provides a central uninhibited area for passive and active recreation.
04. To provide privacy and shade for residential developments.
05. To minimise hard paved surfaces and promote rainwater infiltration.
06. To ensure landscape design builds on the existing site's natural and cultural features to contribute to a developments positive relationship to its context and site.
07. To ensure that consideration is given the practical establishment and long term management of landscaping.
08. To ensure private open space does not impact on the visual privacy and amenity of neighbouring properties.
09. To require adequate access to private open space for its maintenance.

Development Controls

Note: Refer to Part A for general landscape and tree management controls.

- C1. Landscaped area shall be a minimum of 2 metres wide and is to be, where possible, at ground level.
- C2. Compliance with landscaped area controls in this section shall not be compromised through the erection of a secondary dwelling (granny flat).
- C3. No more than 50% of the provided landscaped area shall be forward of the front building line.

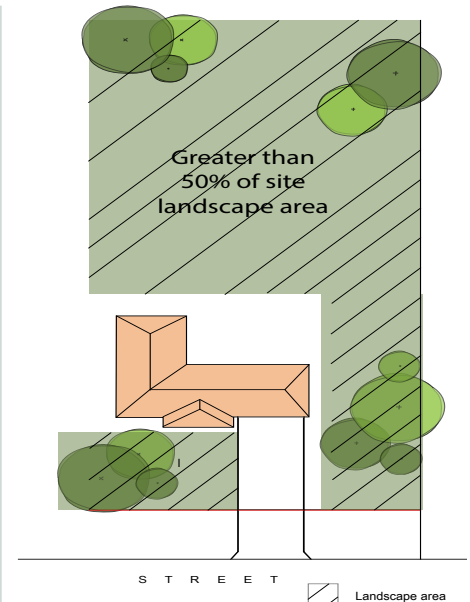


Figure 6. Location of landscaped area



Figure 7. Contiguous landscape areas

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- C4. The majority of the provided landscape area for residential flat developments shall be provided as consolidated area at the rear of the building.
- C5. Only hard paved areas for the purposes of driveways and pathways will be permitted within the front setback area, and shall be kept to a minimum. Hard paved areas shall not cover the entire front setback area.
- C6. Where an access driveway is located on the side boundary or where an internal roadway is to be provided, a landscape strip of 1 metre shall be provided.
- C7. Landscape areas, at least in part, shall adjoin the landscape areas of neighbouring properties, so as to provide for contiguous area of deep soil and vegetation.
- C8. All developments should address and align landscaped area with any public open space and/ or bushland on their boundary.
- C9. All podium areas and communal open space areas, which are planted, should be provided with a water efficient irrigation system.

Note: Grey water reuse for irrigation, as well as toilet flushing and washing machine use is encouraged in all developments. Refer to NSW Health guidelines Grey water Reuse in Sewered Single Domestic Premises or The Management for private recycled water schemes.

Landscaped area

- C10. The % of the total site area to be provided as landscape area for each residential development type shall be as follows:
- **20%**- Dwelling house, dual occupancy and attached housing development on lots less than 600m², and multi dwelling housing.
 - **25%** -Dwelling house, dual occupancy, attached housing development on lots greater than 600m².
 - **30%**-Residential Flat Buildings.

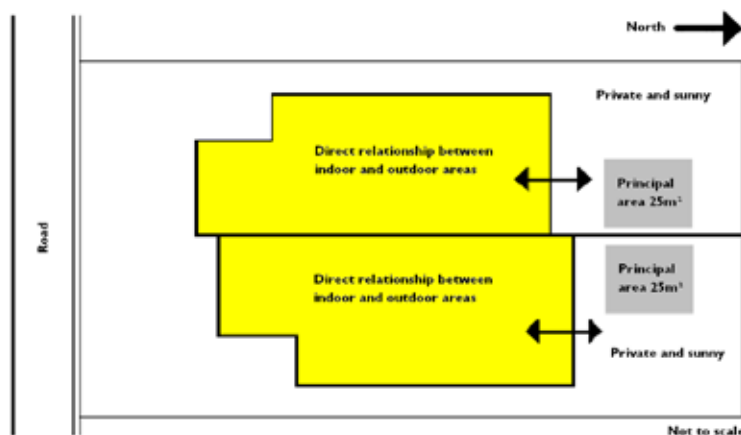


Figure 8. Private open space directly accessible from living areas

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Note: Council may consider concessions to the development control standards contained within this DCP in order to encourage the retention of existing mature trees. This should be discussed with Council prior to proceeding too far with development plans.

Private Open Space

C11. Private open space shall:

- Only be located at the rear or side of the dwelling
- Be at located ground level. Structures such as decks proposed to be included as private open spaces, which are equal to or less than 500mm above ground level dwelling, and complies with all other criteria, may be considered by Council based upon their merits.
- Minimise overlooking opportunities and shall not decrease the visual privacy of neighbouring development.
- Accommodate both passive and active recreation uses.
- Must be directly accessible from a main living area of the dwelling (i.e. lounge/dining/rumpus room).
- Provided for the exclusive use of the occupant(s) of the dwelling house;
- Include an area for external clothes drying with good solar access where possible, which is not visible from a public area.
- Shall not be steeper than a 1:8 gradient. For steeply sloping sites, Council may consider terrace type stepping, which must have a length to width ratio no greater than 3:1.

C12. Rear private open space areas are to have external access either through an associated garage or directly from a common area in order to facilitate maintenance of the private open space and storage of garbage bins.

C13. Private open space shall be provided at ground level in a single tract with a minimum dimension of not less than 3.0 metres.

C14. Principal private open space shall have a minimum dimension of 4 metres, have direct access from a major living area of the dwelling and be clear of all structures, including posts.

C15. 15% of the total site area is to be provided as private open space for dwelling house, dual occupancy and attached housing developments and this shall include a principal area of 25m².

C16. Private open space at a rate of 20% of the total floor area shall be provided for each dwelling within a multi dwelling housing development and this shall include the principal area of 16m².

Note:

- Sunlight access controls for private open space is located in section 1.8 of this Part.
- Private open space controls for residential flat buildings is located in section 6 of this Part.
- Ramps and arrangements to make open space more accessible can be incorporated into the design of private open space, but will be excluded from the open space calculations, unless provided in relation to an adaptable dwelling.

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I.6. Safety and Security

Objectives

- O1. To implement key principles of Crime Prevention through Environmental Design for residential development through natural surveillance, access control and ownership.
- O2. To ensure the active surveillance of the public domain from residential dwellings.
- O3. To clearly define private and public area locations for safety and security.
- O4. To design dwellings and their landscaping in order to maintain the safety and security of a property.
- O5. To define public and private spacings through dwelling and landscape design.

Development Controls

Surveillance

- C1. The front door of a development should either be visible from the street or internal roadway, or overlooked by a window, and should be clearly visible from the driveway.
- C2. Blank walls along street frontages are prohibited.
- C3. Landscaping that may allow would-be intruders to hide shall be avoided.
- C4. The use sensor lights to detect movement at night whilst saving on lighting costs is encouraged.

Access Control

- C5. Council encourages the use of the following measures to control access to and from residential properties:
 - Viewers/peepholes and chains on the entry door in order to monitor visitors and increase the feeling of security.
 - Fences (side access).
 - Solid-core exterior doors.
 - Solid door frames with proper strike plates.
 - Install quality locks on doors and external windows.
 - Consider a monitored alarm system, and
 - Ensure side and/or rear accessway gates are lockable.

Ownership

- C6. Each property shall be clearly identified by street number, which is visible from a car on the street.
- C7. Property lines and private areas should be defined through building materials, fencing and landscaping. Note: Additional ownership controls for Residential Flat Buildings can be found in section 6 of this Part

I.7. Building and Site Sustainability

Objectives

- O1. To improve the energy efficiency of dwellings.
- O2. To reduce the impact of residential development on the environment whilst creating a more pleasant place in which to live.
- O3. To encourage and promote Water Sensitive Urban Design.
- O4. To limit the amount of urban run off from residential developments.

Development Controls

- C1. Residential building designs should incorporate the following design principles for achieving a more sustainable home:
 - Effective building Orientation- attempt to take advantage of northerly aspects, where possible.
 - Energy efficient building materials should be used
 - Design to allow for cross ventilation- through window size, placement and ventilation.
 - Create sustainable landscaping - deciduous trees on north side of dwelling and the planting of vegetable gardens.
 - Window Protection- through external shading devices.
 - Draughtproofing and weathersealing- to prevent potential air leaks.
 - Effective use of natural light- dwellings should be designed so that artificial lighting is not needed during the day.
- C2. Soft landscaping should be used to promote soil infiltration and reduce stormwater run-off.
- C3. Rain gardens and Water Sensitive Urban Design principles for driveways are encouraged.
- C4. The design and location of stormwater drainage structures, such as detention and rainwater tanks, is to be integrated with the landscape design and fencing for the site. Above ground structures should not be visually intrusive.
- C5. On Site Detention (OSD) basins should be adequately landscaped in order to minimise its visual impact and maintain the streetscape character of the area.

Roof and Surface Water

- C6. All roofing shall be provided with adequate gutter and downpipes connected to roof water drainage systems.

Rainwater Tanks

- C7. Full details of proposed rainwater tanks shall be submitted with a Development Application for approval. Details are to include (as a minimum):
 - Rainwater tanks shown on all plans, including floor plans and elevations,
 - the configuration of inlet/outlet pipe and overflow pipe,
 - the storage capacity, dimensions, structural details and proposed materials, and
 - the purposes for which the tank is intended to be used, that is for washing machine use, toilet use and outdoor watering use.

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Note: Where the applicant can demonstrate a need for a tank smaller than 3000 litres (evidence shall be provided from a suitably qualified engineer with the Development Application), Council may give approval for a smaller rainwater tank.

- C8.** Rainwater tanks that are to be connected to toilets and washing machines and for outdoor water use are required (minimum 1 per dwelling) and must be located to the side or rear of the dwelling for single dwelling houses.
- C9.** Rainwater tanks shall not be located within the landscaped area, or reduce the minimum site setback requirements contained within this DCP.

Note: Credit may be granted by Council's Engineering Services in relation to the provision of OSD if a suitable water tank is proposed. Please contact Council for more details.

1.8. Sunlight Access

Objectives

- O1.** To recognise the reasonable expectation for a dwelling to have the ability to access sunlight.
- O2.** To ensure adequate residential amenity through the provision of sunlight access and good solar amenity to the living spaces and private open space areas of dwellings.
- O3.** To not permit overshadowing that arises through poor design.
- O4.** To ensure a reasonable amount of sunlight access for dwellings is achieved all year round.
- O5.** To acknowledge, assess and consider both the existing development and what is likely to be built on adjoining sites in areas undergoing change.
- O6.** To accept that there may be sites and buildings that are vulnerable to being overshadowed, but proposed development shall not preclude reasonable solar amenity access to these sites and buildings.

Development Controls

- C1.** Residential development shall be designed to have as minimal impact as possible on the sunlight access and amenity obtained by existing adjacent properties and their dwellings.
- C2.** Applications for proposed dwellings shall demonstrate design mechanisms provided to ensure sunlight access to the proposed dwellings.
- C3.** On north/south facing allotments, dwellings shall be designed and orientated so that living areas and their major windows and outdoor recreation areas maximise their northern exposure.
- C4.** On sites with otherwise poor solar access, dwellings shall demonstrate that they are specifically designed to catch the winter sun.
- C5.** New dwellings shall be designed to ensure direct sunlight access for a minimum of 3 hours between 9.00am and 4.00pm at the winter solstice (22 June) is provided to at least one main living area of the proposed dwelling/s.
- C6.** The shadow effect from a proposed development on existing adjacent dwellings must be such that a minimum of 3 hours of direct sunlight between 9.00am and 4.00pm at the winter solstice

Residential

(22 June) is to be provided to at least one main living area of existing dwellings.

- C7.** The living rooms and private open spaces for at least 70% of dwellings within a residential flat development shall receive a minimum of 3 hours of direct sunlight between 9.00am and 4.00pm at the winter solstice (22 June).

Note:

- For single dwellings, attached housing, dual occupancies and multi-unit housing, the main living area to be assessed under this section shall be located on the ground floor.
- In order to comply with this control, shadow plans, in elevation, shall be submitted.

- C8.** A minimum of 50% of the required private open space areas of the proposed dwellings and any adjacent dwellings shall have access to 3 hours of direct sunlight between 9.00am and 4.00pm at the winter solstice (22 June).

Note: Sunlight on private open space adjoining living areas capable of containing a table and chairs is preferred by Council, as it provides good usable solar amenity.

- C9.** Lightwells should not be used as a principle source of sunlight.
- C10.** Where sunlight is achieved through east and west facing windows, shading devices should be provided on those elevations for protection from the summer sun.
- C11.** Proposed development should endeavour not to overshadow any existing solar panels on adjacent properties.
- C12.** Where existing sunlight access obtained by adjacent development does not meet the provisions of this plan, the proposed development shall not further reduce its achievable sunlight access.
- C13.** Overshadowing by fences, roof overhangs and changes in level shall be taken into consideration by Council.

Note: Council will not assess the impact of overshadowing by vegetation, unless where the nature of the vegetation has the potential to have a similar impact to that of a solid structure (i.e. very dense hedges etc).

- C14.** Where development does not comply with the controls in this section, Council will consider the proposal on its merits, having regard to:
- Unusual circumstances on the neighbouring site that prevent compliance (e.g. proximity to boundary, location of windows and living areas).
 - Exceptional circumstances of the site that prevent compliance (heritage, topography, orientation, etc).
 - Specific design mechanisms implemented in the proposed design of the site and dwelling in order to achieve the maximum potential sunlight access to the proposal and or adjacent dwellings (e.g. height, location of building bulk, modulated building forms, location and types of windows, setbacks, location of private open space etc).

1.9. Cut and Fill

Objectives

- O1. To minimise disruption any new buildings or structures may have on natural drainage patterns.
- O2. To encourage buildings to follow the natural topography of the land, as much as possible to minimise the need for cut and fill.
- O3. To maintain privacy for adjoining residents.
- O4. To reduce the bulk and scale of dwellings.
- O5. To minimise soil loss through effective site management practices in order to reduce the impact of sedimentation on downstream waterways and drainage systems.

Development Controls

Note: State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, may apply in some instances.

- C1. Development is should be designed and constructed to integrate with the natural topography of the site.
- C2. Cut and fill shall not create a detrimental impact on the overland flow of the site.
- C3. Fill, up to 300mm, is permitted within 900mm of side or rear boundaries.
- C4. Fill, 600mm or greater is to be contained within the building envelope.
- C5. Where fill is more than 150mm deep, it shall not occupy more than 50% of the landscaped area.
- C6. Cut is permitted to a maximum of 1 metre.
- C7. Cut is to be limited to 450mm where it is within 900mm of the rear or side boundaries.
- C8. Where there is a slope over 4%, cut and fill should be balanced.
- C9. Contaminated fill, either imported or found on site, is not permitted.
- C10. Where cut and fill is permitted by Council, applicants are to ensure that the privacy and amenity of the development and surrounding dwellings is not affected.

Note:

- Privacy and amenity controls for residential development are contained within 6 section of this Part.
- Erosion and sediment control controls are contained within Part A of this DCP.
- Cut controls are not applicable where basement parking is proposed.

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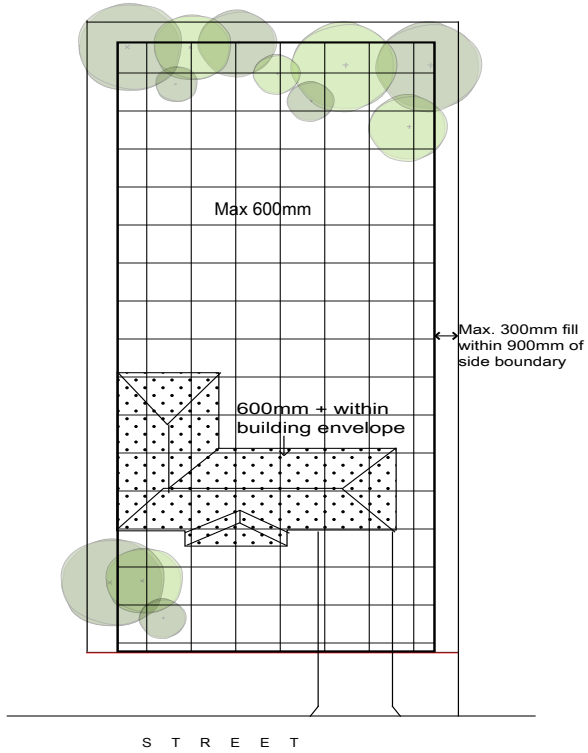


Figure 9. Fill requirements

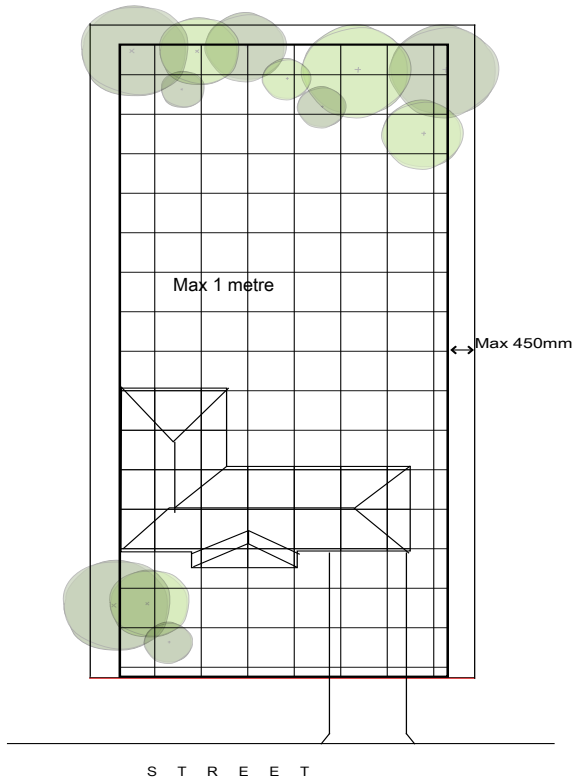


Figure 10. Cut requirements

I.10. Demolition

Objectives

- O1. To permit the safe demolition of buildings and structures.
- O2. To require the provision of a photographic record of buildings and structures to be demolished.
- O3. To ensure the safe removal of asbestos.
- O4. To ensure the safety of those involved in the demolition of buildings and structures and residents in neighbouring properties.
- O5. To ensure that waste from demolition is effectively managed, and where possible materials are recycled.

Development Controls

- C1. Approval for the demolition of a dwelling, addition or outbuilding to a dwelling is required from Council.

Note:

- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, may apply in some instances.
- Holroyd Local Environmental Plan 2013 prohibits demolition in some instances.

- C2. Relocation of existing dwellings may be approved by Council, subject to the relocated dwelling complying with all controls within this DCP.
- C3. A photographic record, capturing the external configuration of the building proposed to be demolished and where appropriate, the internal partitions, is required prior to any site works. Please refer to Council's Photographic Record Form for further details.
- C4. If the demolition involves removing asbestos, compliance with Council's Asbestos Cement Policy for the safe removal and disposal is required.

Note: Penalties may be imposed on any person not complying with the policy, which will form part of any development approval.

1.11. Car Parking and Roads

Objectives

01. To meet the vehicular access and parking needs of residents.
02. To provide convenient off-street parking for residents and, where necessary, visitors within each development.
03. To ensure vehicular and pedestrian safety and a pedestrian friendly environment through an integrated development design.
04. To foster access design to form part of the overall landscape design.
05. To allow for service vehicle access where necessary.
06. To ensure garages, carports and parking do not visually dominate the streetscape and to reinforce building articulation along the street frontage.
07. To ensure that where basement parking is proposed, that the bulk and scale of the building is not increased and that landscaping and deep soil zone requirements can be met.

Development Controls

Note:

- Minimum parking standards for residential development shall be provided in all developments. These standards can be found in Part A of this DCP.
 - General requirements for parking, access and driveways can be found in Part A of this DCP.
- C1. Rooms capable of being used as, or converted into a bedroom shall be included in calculations for car parking.
 - C2. Council may reduce or increase the parking requirements for any development application, having regard to, but not limited to, the following:
 - car ownership levels in the area,
 - proximity and frequency of public transport,
 - availability or lack of on-street parking,
 - street width, traffic volume and parking capacity, and
 - proximity to other uses generating parking demand.
 - C3. Where a reduction or increase of parking spaces is pursued, applicants shall submit a traffic and transport study with the application.
 - C4. One additional car parking space is permitted within the front setback area for single dwelling development on the following roads:
 - Centenary Road, Wentworthville;
 - Cumberland Highway;
 - Merrylands Road (between Cumberland Highway and Clarence Street), and
 - Great Western Highway,

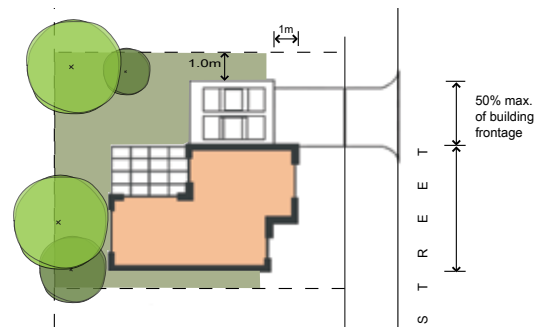


Figure 11. Garage setbacks and widths

Residential

where all other provisions of the DCP are achieved, including landscaping area.

Garages and Carports

- C5.** Garages are to be a maximum of 6 metres clear width or 50% of the width of the buildings street elevation whichever is the lesser.
- C6.** Where garaging is provided as part of the dwelling frontage, it must be integrated into the design of the dwelling to minimise visual impact (i.e. balcony over garage).
- C7.** Garages and carports at grade are to be located a minimum of 1000mm behind the front wall of the building or 5.5 metres from the street boundary, whichever is greater.
- C8.** Where the width of the proposed dwelling house or detached dual occupancy is greater than 12 metres, garages and carports may extend 1.5m from the building façade.
- C9.** Where the garage is proposed to be provided on the secondary street frontage, setbacks for garages should respect any existing adjacent development facing the secondary street, and should not be located forward of the associated main dwelling.
- C10.** Where possible, double garages provided as part of the dwelling frontage should be setback from one another, or incorporate detailing to provide visual interest.
- C11.** Three car garages fronting the street and attached to a dwelling are not permitted.
- C12.** Car parking should be located at the rear of the site where rear access is available or where this is the prevailing pattern of development in the street. This is not to compromise other development controls (i.e. landscape area requirements).
- C13.** Garages are not permitted to be used for any purpose in contravention of Holroyd LEP 2013.
- C14.** The size of any garage shall be no more than a maximum of 40m². If the proposed garage is to be greater than 40m², any area in excess of this will be considered to be floor space.
Note: 40m² is equivalent to a double garage, 20m² is equivalent to a single garage.
- C15.** A lockable storage closet for each dwelling should be provided within the garage.
- C16.** For dwelling houses, dual occupancy and multi dwelling housing, parking in the case of each dwelling shall be separately accessible.
- C17.** Garages for attached dwellings shall be walk through to the rear yard.

Tandem Parking

- C18.** Tandem Parking is acceptable (except for sites on arterial roads), provided that it can be demonstrated that the car can be contained in a 5.5 metre space within the property boundaries and does not interfere with the accessibility of other parking spaces, driveway or road.
- C19.** For single dwellings, tandem garaged parking, for a maximum of 2 car parking spaces, may be provided only for use by the same dwelling, if the street frontage is less than 14 metres.
- C20.** Tandem spaces are not to be used for the regular storage of non operational motor vehicles, boats, caravans, trailers or the like.

Vehicular Access and Driveways

- C21.** Vehicular access points are to be minimised and should not break the continuity of the

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streetscape.

- C22.** Vehicle crossing/s shall be a minimum width of 3 metres (5 metres for single dwellings and dual occupancies that propose double or adjacent garages) and a maximum width of 5 metres at the boundary line. A width up to 6 metres can be considered for multi unit complexes. Generally only one vehicular crossing will be permitted per site.
- C23.** For Multi dwelling housing, there shall be a minimum 6 metre width between driveways.
- C24.** Landscaping should be used to minimise the visual intrusion of vehicular access points.
- C25.** Vehicular access points and parking areas are to be:
- Easily accessible and recognisable to motorists;
 - Located to minimise traffic hazards and the potential for vehicles to queue on public roads;
 - Located to minimise the loss of on street car parking.
- C26.** All new driveways should be located at least 1 metre away from the side property boundaries, or 1.5 metres in the case of Residential Flat Buildings.
- C27.** The area between the driveway and the property boundary shall be suitably landscaped to Council's satisfaction.
- C28.** Driveways shall be designed and constructed in materials to avoid glare and large expanses of plain concrete, whilst ensuring the driveway colour does not detract from the development and character of the street.
- Note: The vehicle crossing, from the street to the front property boundary must be concrete to ensure compatibility with the footpath.
- C29.** Where a driveway is proposed to exceed 30 metres in length, it should not be constructed in a straight line, but should be curvilinear and/or offset by landscaped sections.
- C30.** For Multi unit dwellings and Residential Flat Buildings, Council generally favours the use of a central under-building access drive. Car parking spaces and drives are to be arranged so that the cars can be driven onto and off the property in a forward direction.
- C31.** The maximum gradient for a driveway should be 20%, or 1:5.

Basement Parking

- C32.** Basement Parking is permitted for all residential development.
- C33.** Basement parking is mandatory for all residential flat buildings and multi dwelling developments within the R4 zone.
- C34.** Basement parking for single dwellings and dual occupancies shall not be located outside the building footprint.
- C35.** Basement parking shall:
- Provide, where required, a pumpout drainage system according to Councils engineering requirements.
 - Ensure compliance with Section 3.3 of Part A.
 - Ensure compliance with the BCA for Ventilation and accessibility.
- C36.** Basement Parking shall not increase the bulk and scale of development.
- C37.** Basement Parking shall not affect the privacy of adjacent residential development.

Residential

- C38.** Basement parking manoeuvring shall ensure that vehicles can enter and exit in a forward direction.
- C39.** For residential flat buildings, access from residential dwellings to all parking, including basement parking, shall be accessible for wheelchair users and for less mobile persons.

I.12. Universal Housing and Accessibility

Objectives

- O1.** To ensure the provision of flexible housing and accommodation to meet the needs and changing lifestyles of residents within Holroyd Local Government Area.
- O2.** To ensure that provided universal housing complies with relevant Australian Standards for Adaptable Housing.
- O3.** To encourage accessibility housing design for people with limited mobility.

Development Controls

- CI.** Developments should be designed to minimise any barriers to less mobile persons.

Note:

- Council encourages designing dwellings or additions to dwellings to Australian Standard 4299- 1995 Adaptable Housing, as it will minimise retro-fitting costs which may be required at a later date if the house is to be retained through lifestyle changes.
 - Please refer to the Commonwealth Disability Discrimination Act 1992 for the developers' legal responsibilities in this matter.
 - Dwelling entries, where possible, should be level and enable wheelchair access.
- C2.** All two storey residential dwellings (including single dwellings, dual occupancies, attached housing and multi dwelling housing) should provide one room capable of being used as a bedroom, kitchen, bathroom/toilet and living areas on the ground level.

Multi Dwelling housing and Residential Flat Buildings

- C3.** For multi dwelling development and residential flat buildings, 15% of dwelling units shall comply with AS4299- 1995- Adaptable Housing Class B.

Note: The number of adaptable units will be calculated by rounding up to the nearest whole unit.

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1.13. Subdivision

Objectives

01. To facilitate greater diversity in housing choice, through encouraging variety and choice in housing forms and dwelling sizes.
02. To enable flexibility in the choice of housing design and siting of a dwelling house as well as suitable space available for other activities normally associated with the use of a dwelling house.
03. To require energy efficient subdivision design that maximises solar access and meets requirements for sunlight and solar radiation.
04. To ensure subdivisions make efficient use of roads and services.
05. To strike a balance between cost effectiveness and recurrent costs to Council and the community.
06. Provide an appropriate level of amenity for new and existing residential areas.
07. To ensure appropriate levels of service for utilities and the road network are achieved and to optimise existing infrastructure.
08. To adequately consider environmental constraints and impacts including flooding, drainage, vegetation, erosion on a proposed subdivision.
09. Encourage innovative subdivision and housing design.
010. Consider the design of roads and allotments to create variety and interest in the streetscape.
011. To preserve significant natural features of the subdivision site.
012. Encourage the retention of significant existing vegetation within open space areas, and integration with private site landscaping and natural bushland area.
013. To provide for each allotment sufficient area and dimensions to enable construction of a dwelling and convenient on and off road vehicle access and parking.
014. Provide sufficient road reserve, carriageway and verge width to allow roads to perform any required drainage systems and minimise life cycle costs without compromising other objectives.
015. To allow variety in house design, enable off street parking and to reduce road construction and servicing costs.

Development Controls

Note: General subdivision controls are located in Part A of this DCP.

- C1. The subdivision of secondary dwellings (i.e. granny flats) will not be permitted by Council.
- C2. The type of title (torrens, strata, community) will depend on the nature and final form of development.

Residential

Lot and road orientation

- C3.** Allotment orientation should ensure that living and private open space areas of any dwelling can be orientated to the north and that dwellings can be positioned so that the possible overshadowing impact on existing or future adjoining buildings can be minimised.
- C4.** Road orientation shall be designed to increase the energy efficiency of dwellings.

Note:

- Roads running close to east-west provide for good orientation of allotments for solar access to dwellings and provide open space, while maintaining a narrow allotment frontage. This will contribute to minimising the street length and reduce lengths of utility and service related infrastructure.
 - On roads running, north-south, allotments may need to be widened to provide for solar access and prevent overshadowing of dwellings and private open space.
- C5.** Where land slopes are greater than 4%, road and allotment design should provide for dwellings to be parallel with the contours to minimise earthworks.
- C6.** Allotments shall be design and configured to:
- Minimise boundary retaining walls,
 - Minimise potential overlooking,
 - Maintain solar access, where slopes face south.

Allotment size and dimensions

Note: The minimum allotment size for residential development is contained within Holroyd Local Environmental Plan 2013.

- C7.** Council will consider the shape of the proposed allotment/s as it would allow a rectangular building envelope of approximately 12 metres x 10 metres behind the building line, leaving 6 metres to the rear boundary.
- C8.** A minimum frontage of 12 metres is required where it is proposed to erect a dwelling house on the allotment. An allotment shall be no less than 22 metres in depth.
- C9.** Each residential allotment shall have a satisfactory lot depth to frontage.
- C10.** The access corridor of a battleaxe shaped allotment is not included in the calculation of the minimum

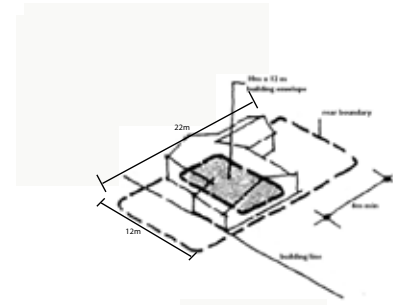


Figure 12. Subdivision dimensions

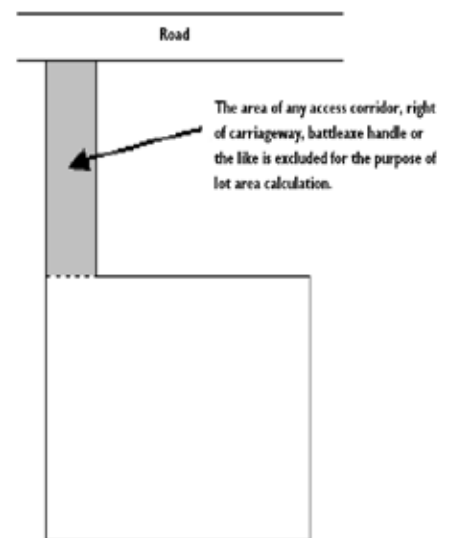


Figure 13. Calculating Battleaxe handle

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area required for that allotment.

Note: The access corridor is that part of a battleaxe shaped allotment which provides private access between the main part of the allotment and public road.

- C11. Proposed corner allotments should have a minimum width of 14 metres to take account of a second building line to the secondary street frontage.
- C12. Where subdivision involves the existing allotments with new property boundary within 6 metres of an existing residential building envelope, the applicant shall establish a building envelope to show how future development can be accommodated on the proposed allotment.

Note: This should be based on an assessment of opportunities for achieving objectives related to orientation, solar access, visual and acoustic privacy appropriate for the type of development proposed.

- C13. Multiple subdivisions of battleaxe lots is prohibited.

Access corridors

- C14. Any proposed vehicular access corridors shall have a maximum length of 60 metres, a minimum width of 4 metres and a minimum width of shared corridor of 6 metres.
- C15. The number of battleaxe shaped blocks in a subdivision should be kept to a minimum. No more than four battleaxe shaped should adjoin each other and access to more than 4 lots should be by a dedicated road.
- C16. No more than two allotments should be served by a shared access corridor.
- C17. Where two corridors are shared, reciprocal rights of way and easements for drainage and services shall be granted over the access corridors for the benefit of both allotments.
- C18. An access corridor to a single allotment shall be constructed with full width concrete paving, minimum 2.5 metres wide. Shared access corridors (serving two allotments) shall be constructed with a full width centrally located driveway, 3.5 metres wide to Councils Engineering Services Department requirements.
- C19. For battleaxe allotments intended to be used for

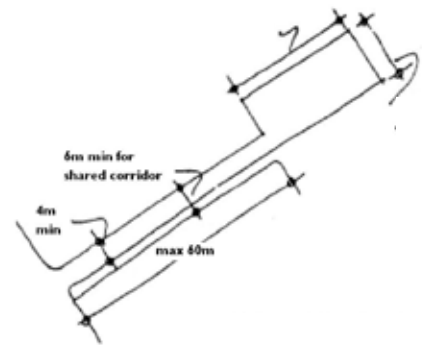


Figure I4. dimensions of access corridor

Residential

a Multi unit development, the applicant shall be required to demonstrate the suitability of a shared access corridor for the number of dwellings proposed.

Dual Occupancy and Multi Dwelling Development

- C20.** Council will allow the torrens subdivision of dual occupancies and the strata subdivision of multi dwelling development subject to compliance with all other related controls contained in this DCP.

Residential Flat Development and Mixed Use development

- C21.** Council will allow the strata subdivision of residential flat buildings subject to compliance with all other related controls contained in this DCP.

Staged and Concept Development

- C22.** Council will consider a variation to the minimum allotment sizes provided the concept plan demonstrates that the allotment sizes meet the objectives and design principles.

Road Design and Construction- road network and capacity

- C23.** Road layouts shall provide for access to bus routes within acceptable walking distance from all dwellings.
- C24.** Unless prescribed otherwise, no more than 10% of allotments shall be more than 400 metres walking distance from a proposed bus route.
- C25.** Large developments or those which require direct access to an external (arterial) road network are subject to negotiation with Council.
- C26.** An access street shall serve a maximum of 200 allotments, or generate no more than 1500 vehicle movements per day (based on an average of 7 vehicle movements per dwelling,) unless a lower rate can be demonstrated.

Road Design Speeds

- C27.** A combination of measures may be required to limit design speeds by:
- Limiting street length,
 - Introducing bends.
- C28.** Introducing slow points, bends and other traffic management measures such as constriction of carriageway width, speed humps etc. These may not be appropriate in all situations.
- C29.** Road design and speed profiles shall conform to RMS guidelines.

Road Reserve

- C30.** Carriageway, verge and road reserve widths shall be provided as shown in Table I and Figure 15 below. Where not already provided, Council will require 4 metre x 4 metre splay corners to be dedicated in road reserves at intersections.
- C31.** While discouraged, where rear fences face major roads, greater verge widths may be required for landscape measures to screen fences, without compromising visibility at intersections.

On street parking

- C32.** On street parking shall be provided as part of the carriageway.

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Pedestrian/cyclist facilities

- C33.** An access place or street shall be provided with a 1.2 metre wide concrete footpath on all frontages. Council will consider the alternative of interlocking road pavements for short length access places serving up to 10 dwelling allotments.
- C34.** Where an cycleway and access approved plan exists, pedestrian and cyclist paths shall be provided in accordance with that plan.

Road Formation

- C35.** New roads must be constructed with kerb and gutter, 1.2 metre wide concrete footpath and be sealed from gutter to gutter.
- C36.** Cul-de-sacs will be accepted only where surrounding land has been fully developed or where the DCP provides for cul-de-sacs roads. Cul-de-sac roads are to have a 12 metre radius with 12 metre reverse curves on boundary alignment.

Note: Construction is to be a standard not less than the Council’s standard specification for new residential roads. This can be purchased or inspected at the Council Chambers.

Table 1- Carriageway and road reserve widths

Road type	Carriageway (m)	Verge (m)	Road reserve (m)	Max. no of lots served	Design speed
Access place minor cul-de-sac	6	3.5	13	15 including corner lots	15km/hour
Minor access street minor loop roads, and cul-de-sacs	8	3.5	15	more than 15	40km/hour
Access street loop road serving activity centres such as open space areas.	11	3.5	18		
Collector likely bus and inter precinct traffic routes	13	3.5	20		

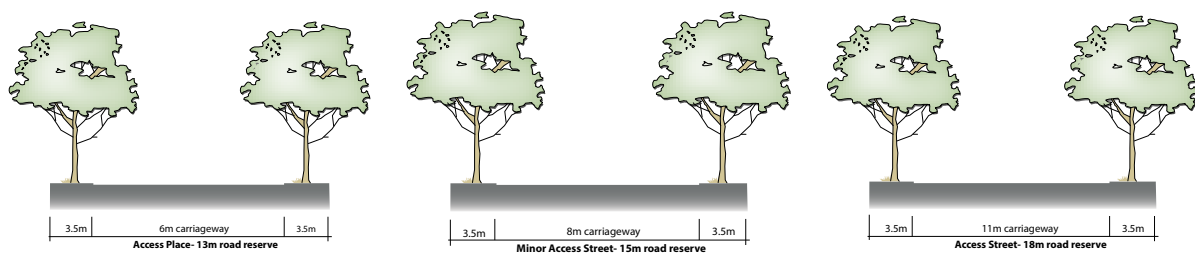


Figure 15. Carriageway widths

2. Dwelling Houses and Secondary Dwellings

2.1. Lot Size and Frontage

Objectives

01. To ensure each lot has dimensions to enable the suitable siting and construction of a dwelling house and associated activities, whilst retaining the character and amenity of the residential area in which it is located.
02. To ensure that housing design complements and integrates with existing streetscapes.
03. To allow choice and variety in housing design.
04. To ensure that allotments provide opportunities for good housing design, including active surveillance of the street, non dominating car parking structures and sufficient open space.
05. To enable adequate street frontage for off street parking, whilst ensuring that parking does not dominate the streetscape.
06. To ensure adequate amenity for new and existing residents.
07. To encourage development that maximises opportunities for solar access and minimises overshadowing on neighbouring properties.
08. To allow Council to consider dwelling houses on existing registered lots that do not meet development control requirements for lot size and frontage widths.

Development Controls

- C1. The minimum allotment size for a dwelling house is 300m².
- C2. The minimum frontage for a dwelling house is 10 metres at the building line.
Note: The area of any access corridor, right of carriageway or the like will be excluded for the purpose of lot area, site coverage, landscape area and private open space calculations.
- C3. The minimum width of an access corridor is 5 metres inclusive of 1 metre of landscape strip on both side of the access corridor.
- C4. Where a registered lot exists in a residential zone and is less than 300m² in area, or less than 10m in width, Council may consent to the development of a dwelling house on the lot. See Section 4 of this Part.

Residential

2.2. Site Coverage

Objectives

01. To ensure that new dwelling housing and alterations and additions to existing dwelling housing are consistent with the streetscape character and the future amenity of its locality.
02. To allow for adequate landscaping including deep soil zones and private open space.
03. To minimise overshadowing of the proposed development on surrounding residences and their private open space.
04. To minimise potential privacy issues on surrounding residences and their private open space.

Development Controls

- CI. The maximum site coverage for a dwelling house is 60% of the site area (Figure 16).

Note:

- Achieving the maximum site coverage shall not be interpreted as an automatic right of approval. Applicants must demonstrate consideration of site constraints and other design and amenity considerations detailed within this DCP relating to bulk and scale.
- The maximum floor space ratio is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

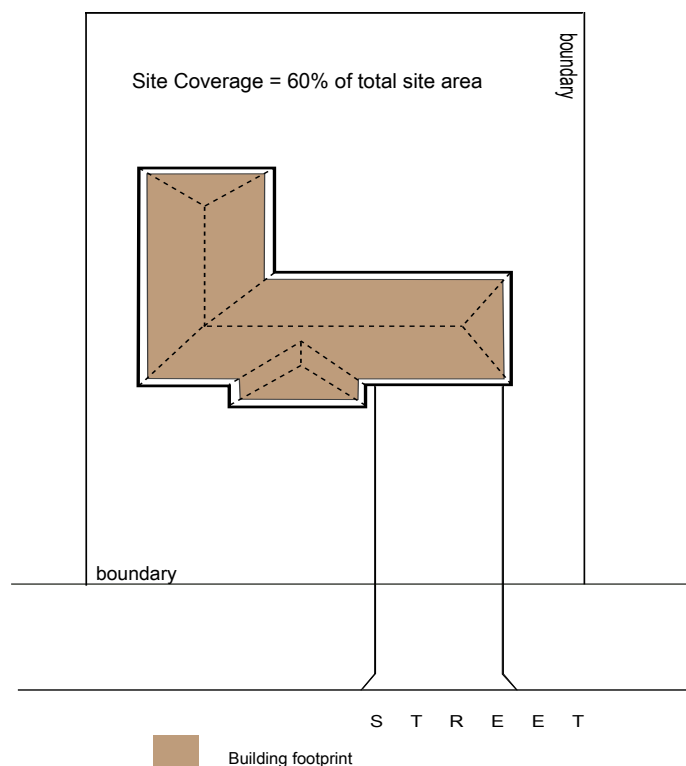


Figure 16. Site Coverage- Single Dwellings, alterations/additions and outbuildings

Residential

2.3. Setbacks

Objectives

- O1. To establish setbacks for single dwellings and their associated parking facilities and outbuildings from the street and property boundaries.
- O2. To integrate new dwelling house development and alterations and additions to existing dwelling housing into a existing streetscape character.
- O3. To ensure that the bulk and scale of new dwelling housing and alterations and additions to existing dwelling houses maintains the established bulk and scale of its locality.
- O4. To ensure sufficient separation between buildings to allow for privacy and sunlight access.
- O5. To provide locations in which landscaping may be located, in order to maintain the established landscaped character of Holroyd with of prominence of deep soil zones to the rear of lots.
- O6. To allow for specific architectural features to be permitted in primary street setbacks that, are complimentary to the design of the dwelling and provide architectural interest in the building.

Development Controls

Note: Setback standards contained within the DCP are set as a minimum only. Council may require increased setbacks in order to reduce overshadowing, to ensure privacy is maintained and to reduce bulk and scale of buildings.

- C1. Only eaves and gutters are permitted to encroach into setbacks, unless otherwise stated in this Development Control Plan.

Front Setbacks

- C2. The minimum setback from the principal street frontage is 6 metres.
- C3. Dwellings are to align with the street, where possible.
- C4. Where front setbacks of adjacent dwellings differ from 6 metres, Council may approve a front setback which is similar to that of adjacent dwellings. Where setbacks of adjacent buildings differ significantly, the setbacks of the two will be averaged to provide the setback allowed for the new dwelling.
- C5. The front setback area shall be landscaped area except allowing for driveway and pathway leading to the dwelling.

Side Setback

- C6. Setbacks from the side boundaries are to be a minimum of 900mm.
- C7. Minimum side setbacks for granny flats shall be 900mm.

Rear Setback

- C8. The minimum setback from the rear boundary shall be at least 3 metres for single storey dwellings or a single storey component of two storey dwellings.
- C9. The upper storey shall be setback at least 7 metres from the rear boundary.

Residential

Rear Lane

- C10.** Setbacks to a rear lane (new front setback) shall be a minimum of 3 metres and a maximum of 5 metres.

Corner Lots

- C11.** Corner dwellings are to address both streets through appropriate design.
- C12.** A minimum side setback to secondary streets shall be 4 metres.

Articulation Zone

- C13.** An articulation zone shall be permitted in the front setback to the primary street frontage. The articulation zone is limited in width to 25% of the building width and 1.5 metres in length.
- C14.** Building elements permitted in the articulation zone include: verandahs, porticos/ entry features, bay windows, awnings, shade structure, window box treatment, balcony, patio, pergola, terrace, verandah or steps.
- C15.** Building elements shall not extend above the eave gutter line, other than a pitched roof to an entry feature or portico. This shall have the same pitch as the roof of the dwelling house.
- C16.** The area of building elements is not included in calculations for landscaped area or private open space.
- C17.** Building elements permitted in the articulation zone shall integrate with the overall design of the dwelling house and shall not appear as a 'tack on' structure.

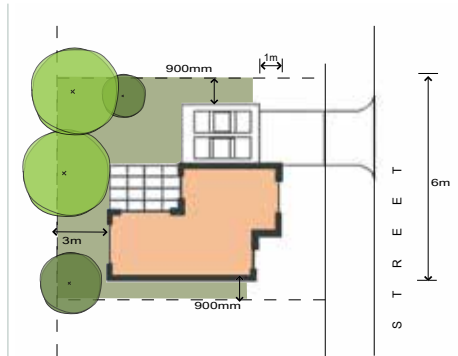


Figure 17. Setbacks- single dwellings

Residential

2.4. Building Height

Objectives

01. To establish the maximum storey limit for detached dwellings, their alterations and additions and associated outbuildings.
02. To establish minimum floor to ceiling heights for detached dwellings, their alterations and additions and associated outbuildings.
03. To permit attics where they do not impact on the bulk and scale of a dwelling.
04. To ensure that new dwelling house development and alterations and additions to dwelling houses integrate within the existing streetscape character.
05. To maintain sunlight access, privacy and amenity for new and existing residents.

Development Controls

- C1. A dwelling house and alterations and additions to a dwelling house shall be no more than 2 storeys in height.

Note: The height (in metres) of single storey dwelling shall be 7 metres (Figure 18).

- C2. The minimum floor to ceiling height of dwelling house is 2.4 metres (Figure 19).
- C3. Attics are permissible, only where they comply with all other height and floor to ceiling height requirements.
- C4. Attics are to be designed to fit within the building envelope (with the exception of dormer windows) and are not to increase the bulk and height of the roof.
- C5. Council may only consider dormer style rooms, only where it is located within the roof line of the dwelling house and facing the principal street or a public park and do not impact on neighbouring properties privacy.
- C6. Dormer windows may be included which are no higher than the height of the main roof of the building, no greater than 1.5 metres in width and are not to incorporate an access or balcony. (Figure 20).

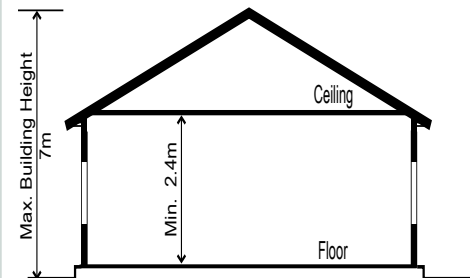


Figure 18. Single storey dwelling height

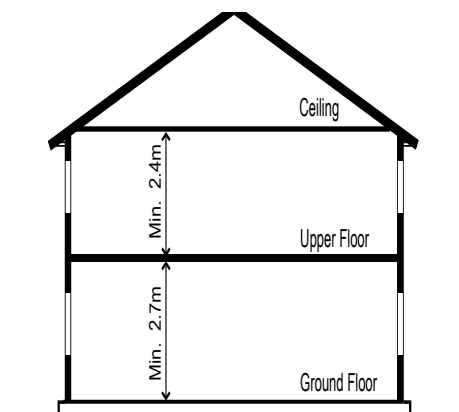


Figure 19. Two storey dwelling height

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Note: The maximum height for a dwelling house (in metres) is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

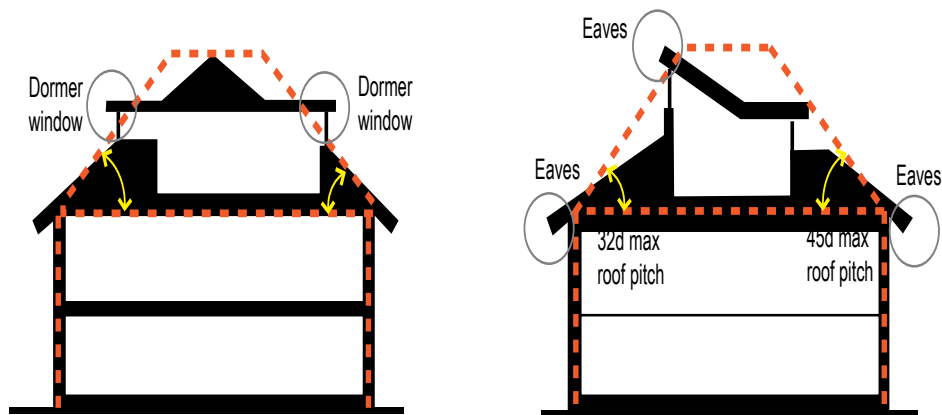


Figure 20. Attics and dormer windows

Residential

2.5. Building Appearance

Objectives

01. To ensure residential amenity is maintained through controlling the bulk and scale of single dwellings and their additions and alteration and providing separation between dwellings.
02. To require good dwelling design outcomes through ensuring dwellings are designed to have regard to the size, shape and orientation of the allotment it is to be located on.
03. To maintain, and enhance, the appearance of residential areas through the detailing, materials and design of dwellings and to compliment and integrate new development into the surrounding locality.
04. To minimise visual impact of new development and potential loss of views for existing development.
05. To ensure that dwellings located on corner lots are designed to address both street frontages.
06. To ensure that security and surveillance of the street is maintained through dwelling design.
07. To ensure new development have facades which define and enhance the public domain and desired street character.
08. To ensure that building elements are integrated into the overall building form and façade design.

Development Controls

Dwelling Design

- C1. The design of a dwelling house shall have regard to the size, shape and orientation of the allotment the dwelling is to be located on in relation to:
 - the type of dwelling house proposed,
 - the position of the dwelling on the allotment,
 - Opportunities for solar access,
 - The maximisation of private open space, and
 - Minimising the potential for overlooking.
- C2. Dwelling design and its architectural style is to interpret and respond and not be in strong visual contrast to the positive character of the locality, including setbacks, height, and dominant patterns, textures and compositions of buildings and their elements such as roof shape, pitch and overhangs, entry porches, verandas, balconies and terraces, materials, finishes, fixtures, patterns, fenestrations, colours and detailing and the location and proportion of windows and doors.

Bulk and scale

- C3. Maximum length of walls along the first floor side boundaries shall be 10 metres without any indentations or offsets or other articulation features. Indentations or offsets shall be a minimum width of 1 metre.

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Front Façade

- C4.** At a minimum, the front façade of a dwelling house (with the exception of battleaxe lots) shall orientate the front door and a window of a habitable room on the ground floor to address the principal street frontage.
- C5.** Where lots have dual frontages, some form of address, such as windows, architectural features, and surveillance, must also be provided to the secondary street.
- C6.** Building facades should be modulated in plan and elevation and articulated to reduce the appearance of building bulk and to express the elements of the buildings architecture.

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2.6. Outbuildings

Objectives

- O1. To ensure outbuildings compliment and do not dominate or detract from the built form and character of the area.
- O2. To protect the visual and acoustic privacy and amenity of adjoining properties.
- O3. To ensure landscape area and private open space are maintained.
- O4. To ensure outbuildings are integrated into dwelling design.
- O5. To ensure garages do not visually dominate the streetscape.
- O6. To allow flexibility in the location and design of outbuilding development.
- O7. To allow outbuildings where fronting a rear laneway, accommodate attic-style development.

Development Controls

General

- C1. Outbuildings shall be for domestic purposes only.
- C2. Outbuildings shall be setback behind the building line.
- C3. The floor area of any outbuilding shall not be greater than 10% of the site area of the lot.
- C4. The maximum site coverage for dwellings and ancillary development (including outbuildings) is 60%.
- C5. The maximum building height of a new outbuilding or the alterations and additions to an existing outbuilding must not be more than 4.8m above ground level (existing).
- C6. An outbuilding with a building height at any part of up to 3.8m must have a setback from a side or rear boundary of at least the following:
 - 900mm, if the lot has an area of at least 450m² but less than 900m²,
 - 1.5m, if the lot has an area of at least 900m² but less than 1500m²,
 - 2.5m, if the lot has an area of at least 1500m².
- C7. An outbuilding with a building height at any part of more than 3.8m must have a setback from a side or rear boundary of at least the sum of:
 - the amount of the setback specified for the relevant sized lot in C6, plus
 - an amount that is equal to one-quarter of the additional building height above 3.8m.
- C8. Outbuildings fronting a rear laneway are to have a maximum height of 6 metres.
- C9. All amenities associated with outbuildings must only be accessible externally.
- C10. Outbuildings shall be constructed or installed so that any roofwater is disposed of into an existing stormwater drainage system.

Balcony, deck, patio, pergola, terrace or verandah
- C11. Any enclosing wall shall have a maximum height of 1.4m.
- C12. If it is comprised of metal components, it shall be constructed of low reflective, factory pre-

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coloured materials.

- C13.** The floor height shall not be more than 1m above existing ground level.
- C14.** If it is a roofed structure:
- That is attached to a dwelling, it shall not extend above the roof gutter line of the dwelling, and
 - The roof shall not be higher than 4.8m, at its highest point, above ground level (existing).
- C15.** There shall be no interference with the functioning of existing drainage fixtures or flow paths.

Cabana, cubby house, fernery, garden shed, gazebo or greenhouse

- C16.** Shipping containers any other portable or pre-fabricated units are permitted where they comply with the BCA and all other controls within this DCP.

Carport (detached)

- C17.** The development must not result in a building classified under the Building Code of Australia as Class 7a.
- C18.** A carport shall be 2 or more sides open and not less than one-third of its perimeter open.
- C19.** Carports may be permitted forward of the building line within the permitted articulation zone.
- C20.** If it is comprised of metal components, it should be constructed of low reflective, factory pre-coloured materials, and
- C21.** Carports shall be located so that it will not reduce vehicular access to, or parking or loading or unloading on, or from, the lot.
- C22.** A zero setback to a side boundary is permissible with a maximum length of 12 metres to allow for tandem car parking for two vehicles (Figure 22).
- C23.** If located within 900mm from the boundary, it shall be constructed of materials that require minimal maintenance.

Garage (detached)

- C24.** Garages shall not be used to store commercial vehicles.
- C25.** Where a garage is proposed to be located on the

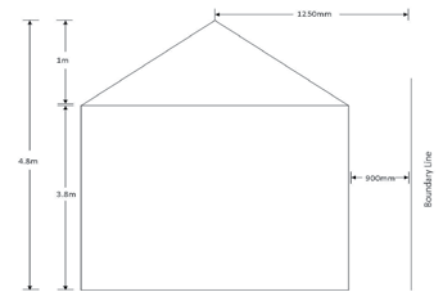


Figure 21. Outbuilding setbacks

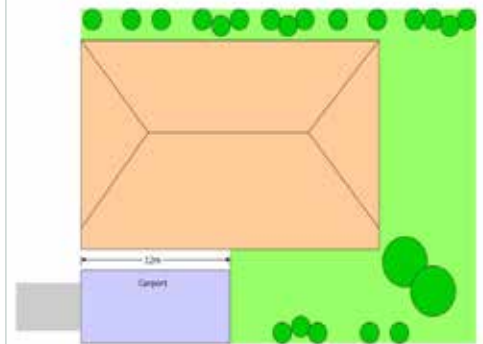


Figure 22. Detached Carports

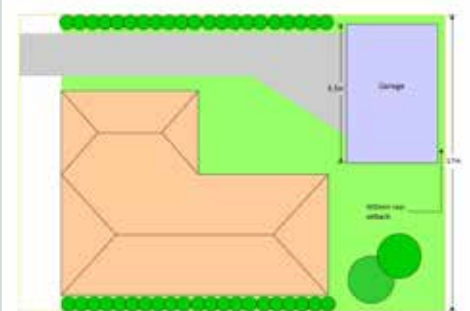


Figure 23. Detached Garages

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rear boundary, and has a maximum width of less than 50% of the rear boundary width, the garage may have a reduced minimum rear setback of 500mm (Figure 23).

- C26.** Where located between 500- 900mm from the boundary, garages shall be constructed of materials that require minimal maintenance and comply with the BCA.
- C27.** A garage must:
- be at least 1m behind the building line, where the dwelling house has a setback from a road boundary of 4.5m or more, or
 - be at least 5.5m from a road boundary, where the dwelling house has a setback of less than 4.5m.

Rainwater tank (above ground) that is detached from a dwelling house

- C28.** A minimum setback of 450mm from each lot boundary, if the tank has a height of more than 1.8m above ground level (existing).
- C29.** Rainwater tank shall be located behind the building line of any road frontage.
- C30.** A maximum cut and fill of 1m below or above existing ground level is permitted.
- C31.** If it is constructed or installed on or in, or in relation to, a heritage item or a draft heritage item, it should be located in the rear yard.

Shade structures (detached)

- C32.** It shall not cause the total area of all such structures on the lot to be more than 15% of the ground floor area of the dwelling on the lot.
- C33.** It shall be located behind the building line of any road frontage.
- C34.** If it is comprised of metal components, it should be constructed of low reflective, factory pre-coloured materials.
- C35.** There shall be no interference with the functioning of existing drainage fixtures or flow paths.

2.7. Secondary Dwellings (Granny Flats)

Objectives

- O1. To provide housing choice within a standard residential lot for the use of a secondary dwelling within the existing title.
- O2. To permit flexible housing arrangements to suit the needs of sections of the Holroyd community that conventional housing does not meet.
- O3. To enable families to provide care and support within close proximity, whilst enabling the occupants to maintain their independence.
- O4. To ensure that this accommodation enables those in detached dwellings to provide care and support where required without impacting on the amenity of the area.
- O5. To require lower scale secondary housing, to ensure compatible with the existing built environment and character of the single dwelling zone across Holroyd City.
- O6. Ensure that the conversion of existing structures to secondary housing incorporates a satisfactory level of design and appearance, which results in a high quality of residential amenity for occupants of secondary housing.
- O7. To only permit secondary housing development where it does not detract from the amenity of adjoining neighbours.
- O8. To ensure that secondary dwelling development does not compromise the provision of on site car parking provided for an existing or new dwelling house on the lot.
- O9. Ensure privacy is maximized for neighbours of the development and those who will occupy the secondary dwelling.
- O10. To ensure that room sizes within secondary dwellings are functional, of sufficient size and cater for the intended use of the secondary dwelling.
- O11. Furnish secondary dwellings with basic amenities to ensure the occupants are provided with an acceptable standard of independent living.

Development Controls

General

- C1. A maximum of one secondary dwelling per allotment is permissible.
- C2. Secondary dwellings are permissible on lots with an area of 450m² or greater.
- C3. The subdivision of secondary dwellings (including torrens, strata or community title) is not permitted.
- C4. Conversions of existing outbuildings will only be considered where:
 - The building meets the standards required by the Building Code of Australia and;
 - The principal dwelling complies with the provisions of this DCP- i.e. parking requirements are to be complied with.

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Site Coverage

- C5.** The maximum site coverage for a secondary dwelling, combined with an existing or proposed dwelling shall be 60%.

Note:

- The floor space ratio of a secondary dwelling, combined with an existing or proposed dwelling, shall be consistent with the maximum floor space ratio for dwelling houses, in each residential zone is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.
- The maximum floor space for a secondary dwelling is detailed within Holroyd Local Environmental Plan 2013, as a written statement.

Height

- C6.** Secondary dwellings are to be a maximum of 1 storey in height.
- C7.** A secondary dwelling, where located above a garage facing a laneway, is permitted to be 1 storey above the garage.

Note: The maximum height for a secondary dwelling in each residential zone is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

Setbacks

- C8.** Secondary Dwellings are not permitted within the front setback area of the principal dwelling, except where the secondary dwelling is part of and integrated with the design of the principal dwelling or existing garage and the street setback requirements for the principal dwelling are satisfied.
- C9.** On corner sites, a minimum setback of 3 metres on the secondary street is required.
- C10.** Granny Flats on rear lanes require a minimum setback of 1.5 metres
- C11.** Granny flats shall have a minimum of 3 metre rear setback, whether attached or detached from the principal dwelling.

Design and Materials

- C12.** Secondary dwellings shall compliment the principal dwelling in style of construction, design and materials.
- C13.** Metal or corrugated iron materials should be avoided, with the exception of roofs.
- C14.** The living area of the secondary dwelling should connect to private open space.

Facilities

- C15.** A secondary dwelling shall contain at the minimum:
- kitchen/kitchenette,
 - bathroom,
 - living room and
 - bedroom.
- C16.** A common laundry may be provided to share for the principal and secondary dwellings.

2.8. Swimming Pools and spa pools (ancillary to a dwelling house) and associated decking and privacy screening

Objectives

- O1. To provide the installation requirements of swimming pools and spa pools within Holroyd.
- O2. To minimise the risks of unsupervised access to pool areas.
- O3. To ensure the maintenance of pool water quality.
- O4. To provide ready access to the pool for cleaning a recovery of items from the water.

Development Control

Note: State Environmental Planning Policy (Exempt and Complying Development Codes) 2008, may apply in some instances.

- C1. Swimming Pool and spa pool development, including associated decking and privacy screening is not to be carried out without the approval of Council.
- C2. Where an existing registered lot is less than 450m², Council may consent to the development of a swimming pool or spa pool that is ancillary to a dwelling house.
- C3. Swimming pools and spa pools that are ancillary to a dwelling house shall be located behind the front setback from a primary road and/or in the rear yard of a dwelling house.
- C4. Where it is proposed that a swimming pool or spa pool have a setback of less than 1 metre from a side or rear boundary Council may consider the variation to the above setback to this where it has considered the following:
 - Sufficient area for resuscitation
 - Room for maintenance of the pool and spa area, and
 - Any potential impacts on adjacent dwellings and their ancillary structures due to the excavation of the pool.

- C5. A minimum clearance of 1.5m must be provided from the water line to the pool fencing to at least one internal side.
- C6. The development of a swimming pool and/ or spa pool shall not impact the privacy of surrounding properties.

Design, construction and materials

- C7. A pool, whether constructed on site or prefabricated must comply with the relevant Australian Standards including:
 - AS 2783-1992
 - AS/NZS 1838-1994
 - AS/NSZ 1839-1994
- C8. A pool shall be constructed of inert and durable materials. Where the pool is constructed of reinforced concrete it shall be finished with a suitable surface.
- C9. A barrier shall be placed around ladders at the access point to an aboveground pool.
- C10. Ladders and filters shall be located away from the non-climbable zone (NCZ) so as not to

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compromise the barrier.

- C11.** A gate incorporated in a child-resistant barrier (pool safety fence) must be a minimum 1.2m high, be fitted with a device which will return the gate to a closed position, and operate the latching device from any position with a stationary start, without the application of manual force.
- C12.** Each gate shall be fitted so it will only swing outwards away from the pool area with the opening mechanism located a minimum of 1.5m above finished ground level.
- C13.** Double gates are not acceptable construction for a self-closing and self-latching gate.
- C14.** A padlocked gate is not an acceptable alternative for a self-latching gate.
- C15.** The maximum allowable gap between the base of the child-resistant barrier (safety fence) and the finished ground/pavement surface level is 100mm.
- C16.** Where the rails for the dividing/boundary fences are located on the adjoining neighbouring property they are to comply with the requirements of AS 1926.1.
- C17.** Any door providing access to the pool area from a building must have no openings below a height of 1.5m above the floor through which a round bar 105mm in diameter can be passed.
- C18.** The door must be kept closed at all times when not in use and kept child-safe by means of a lock, latch, bolt or other child-resistant device located at least 1.5m above finished floor level.
- C19.** The door or door frame must not be provided with any footholds wider than 10mm between the release mechanism of the door and any point 100mm above finished floor level.
- C20.** Although the Regulation does not specify the use of self-closing devices on doors, Councils policy requires one be fitted as an additional safety measure to ensure the door will remain closed when not in use.

Water Disposal

- C21.** A hydrostatic pressure relief valve shall be incorporated in rigid pool shell designs.

Decking and Privacy Screening

- C22.** Privacy screening shall:
 - Take the form of a trellis, fence or panel (but not a dividing fence),
 - Be located behind the existing building line,
 - Have a maximum height of 2.4m above adjacent ground level,
 - Have a maximum length of 10m,
 - Not be of masonry construction,
 - Be structurally adequate.
- C23.** No part of a privacy screen located outside the pool area shall be constructed within 900mm of any child resistant barrier (safety fence).

Noise

- C24.** Any potential noise- generating motor, equipment or machinery system must be located so as to not cause a noise nuisance for neighbours. These items must be capable of being operated in accordance with the noise requirements of the Protection of the Environment Operations Act. 1997.

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- C25.** Should the noise generating item be deemed to be causing a nuisance to neighbours then the items may have to be acoustically treated to reduce noise levels to an acceptable level.

3. Dual Occupancy and Semi Detached Dwellings

3.1. Specific requirements for Attached Dual Occupancy Development

Objectives

01. To ensure dual occupancy development is compatible with both the established character and the desired future amenity of particular residential areas.
02. To ensure that dual occupancy development is to have a similar appearance, bulk and scale to a detached house, to allow so that it integrates effectively with the locality.
03. To require sufficient allotment area and dimensions to enable the siting and construction of a dual occupancy and its ancillary buildings with the provision of private outdoor space with good solar access, and convenient vehicle access and parking.
04. To ensure that both dwellings are located on ground level to allow direct access to private open space and reduce potential privacy and overlooking issues.
05. To require dual occupancy development to provide a sense of identity, whilst maintaining compatibility between the dwellings.

Development Controls

- C1. No more than one attached dual occupancy may be erected on a single allotment of land.
- C2. The minimum allotment size for an attached dual occupancy development is 500m² in Zone R2 Low Density Residential and 450m² in Zone R3 Medium Density Residential.
- C3. The minimum site frontage for an attached dual occupancy, as measured from the building line is 15 metres.
- C4. A minimum lot width of 26 metres (including 4 metre access handle) is required for attached dual occupancies on battleaxe lots.
- C5. An attached dual occupancy is to be located at the front of the allotment.
- C6. The two dwellings must not be located one on top of the other.
- C7. Mirror reverse designs for attached dual occupancies are not permitted.
- C8. Architectural differentiation between the dwellings, such as variable setbacks is required. Compatibility with the adjoining dwelling should be retained through roof pitch, colour schemes, materials etc.
- C9. Two storey attached dual occupancy development will only be permitted directly adjoining the street frontage where there are no adverse privacy and overshadowing impacts, and where it is compatible with the existing streetscape.
- C10. If an attached dual occupancy consists of one dwelling at the front of the site and one attached to the rear, the rear dwelling must be single storey.

Note: In the case of attached dual occupancies on corner allotments, refer to clause 3.4 for specific provisions.

3.2. Specific requirements for Detached Dual Occupancy Development (including the retention of an existing dwelling)

Objectives

- O1. To ensure the development is compatible with both the established character and the desired future amenity of particular residential areas.
- O2. To require sufficient allotment area and dimensions to enable the siting and construction of a dual occupancy and its ancillary buildings with the provision of private outdoor space with good solar access, and convenient vehicle access and parking.
- O3. To ensure that where the original house on an allotment is retained, the house is in good condition.

Development Controls

- C1. No more than one detached dual occupancy is to be erected on a single allotment of land.
- C2. The minimum allotment size for detached dual occupancy development is 500m² in Zone R2 Low Density Residential and 450m² in Zone R3 Medium Density Residential.
- C3. The area of any access corridor, right of carriageway, battleaxe handle or the like will be excluded for the purpose of lot area calculation.

Note: In the case of attached dual occupancies on corner allotments, refer to section 3.4 for specific provisions.
- C4. The minimum site frontage for a detached dual occupancy is 15 metres.
- C5. Two storey development will only be permitted directly adjoining the principal street frontage where there are no adverse privacy and overshadowing impacts, and where it is compatible with the existing streetscape.
- C6. If a detached dual occupancy consists of one dwelling at the front of the site and one attached to the rear, the rear dwelling must be single storey.
- C7. Two dwelling in a detached dual occupancy must be a minimum 2 metres separation distance between the external walls of both dwellings. This is required even if subdivision is not proposed.
- C8. A minimum lot width of 26 metres (including 4 metre access handle) is required for dual occupancies on battleaxe lots.

Where the original house is to be retained

- C9. Where the retention of an existing house for a detached dual occupancy is proposed, the existing house must comply with the provisions of this Development Control Plan.
- C10. Consideration may be given to reducing the required side 1 metre landscaped strip, where necessary, to provide driveway access to a rear dwelling.
- C11. For detached dual occupancy proposals where the dwelling to be retained is not listed in a conservation area, or as a heritage item, the existing dwelling must be in a good condition.
- C12. Where the dwelling to be considered for retention is not considered by Council to be in good condition, upgrading of the original house to Councils satisfaction will be required so

that materials and colours are compatible. Council will also consider whether retention of an existing dwelling can satisfy the requirements of the Building Code of Australia (BCA).

3.3. Specific requirements for Dual Occupancies facing laneways and in Cul-de sacs

Objectives

01. To ensure that new dual occupancy development does not adversely alter the traffic regime and services that have been provided in the area.
02. To provide suitable development in laneways that respects the character of the neighbourhood and amenity of the surrounding residents.
03. To restrict the development of dual occupancies in cul-de-sac locations where constrained access and parking would exist.

Development Controls

- C1. Dual Occupancies shall not be permitted within the 'bulb' area of a cul-de-sac.
- C2. Detached dual occupancies are permitted to be built to an existing rear access lane.
- C3. Detached dual occupancies are to be built facing the laneway, but only where it strictly complies with the following:
 - Minimum 3 metres total side boundary setbacks, either divided along both sides of the new building or along one side boundary only. Side setbacks shall be a minimum of 1 metre.
 - The side setback area, if 3 metres or more and fully landscaped, can be included in the garden space calculations.
 - New dwelling shall be setback 3 metres from the existing lane alignment.
 - Except for driveway area, the setback area is to be fully landscaped as a front garden area containing Garaging for one car only and 3 metre maximum width for driveway access to rear lane.

3.4. Specific requirements for Dual Occupancies on Corner Allotments

Objectives

01. To ensure dual occupancies on corner lots address both the principal and secondary street frontages.
02. To improve the quality of dual occupancies on corner sites through adequate setbacks.
03. To ensure that sufficient street frontages are provided for dual occupancies.
04. To ensure that the design of dual occupancies on corner lots contribute to the urban design and amenity of the locality.
05. To provide for the safety of vehicular movements past dual occupancies on corner lots.

Development Controls

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- C1.** The minimum lot size for a dual occupancy on a corner allotment is 500m² in Zone R2 Low Density Residential and 450m² in Zone R3 Medium Density Residential.
- C2.** The minimum lot frontage width is 15 metres (for both street frontages).
- C3.** For a corner allotment, the minimum setback from the principal street frontage is 6 metres.
- C4.** The setback from the secondary street frontage is 4 metres, and a 5.5 metre setback is required to a garage.
- C5.** Dual Occupancies on corner sites are to be articulated to address each street frontage, define the corners and contribute to both streetscapes. Design the building façade to address the corner and integrate the façade to achieve a unified architectural concept by incorporating a minimum of two of the following design elements into the building façade facing the secondary street.
- Verandah
 - Gable
 - Vertical Elements to reduce the horizontal emphasis of the façade
 - Entry feature or portico, and
 - Balcony/windows boxes or similar elements
- C6.** Corner elements with windows at an angle to the main walls must only be located on the front façade or on the ground floor at the rear of the dwellings, they:
- Must not provide direct views onto adjoining private open space.
 - Must have habitable rooms addressing both the streets.
 - Must have separate entry pathways to each dwelling.
 - Must have an active corner with architectural interest e.g wrap around verandah or continuous windows etc (Figure 24).
- C7.** Driveways must be located a minimum of 6 metres from the tangent point of the kerb return on the street corner.



Figure 24. Corner lot housing

3.5. Site Coverage

Objectives

01. To ensure that dual occupancy are consistent with the streetscape character and the future amenity its locality.
02. To allow for adequate landscaping including deep soil zones and private open space.
03. To minimise overshadowing of the proposed development on surrounding residences and their private open space.
04. To minimise potential privacy issues on surrounding residences and their private open space.

Development Controls

- C1. The maximum site coverage for a dual occupancy is 50% of the site area.
- C2. Where dual occupancies are located with the R4 zone, the maximum site coverage may be increased, where compliance with setbacks and landscaped area requirements is achieved.

Note:

- Achieving the maximum site coverage shall not be interpreted as an automatic right of approval. Applicants must demonstrate consideration of site constraints and other design and amenity considerations detailed within this DCP relating to bulk and scale.
- The maximum floor space ratio is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

3.6. Setbacks

Objectives

01. To reduce the areas of hard paving in the front setback to improve the streetscape amenity and allow for greater rainwater infiltration.
02. To establish setbacks for dual occupancy developments and their associated parking and outbuildings from the street and property boundaries.
03. To integrate new dual occupancy development into an existing streetscape character.
04. To ensure that the bulk and scale of dual occupancy development maintains the established bulk and scale of its locality.
05. To ensure sufficient separation between buildings to allow for privacy and solar access.
06. To provide locations in which landscaping may be located, in order to maintain the established landscaped character of Holroyd with of prominence of deep soil zones to the rear of lots.
07. To allow for specific architectural features to be permitted in primary street setbacks that, are complimentary to the design of the dual occupancy and provide architectural interest in the building.

Development Controls

Note: Prescribed setbacks in this development control plan may be increased by Council after considering privacy, overshadowing, solar access and other relevant issues.

Front Setback

- C1. The minimum setback from the principal streetscape frontage is 6 metres (with the exception of dwellings to rear laneways or secondary streets).
- C2. Council may consider a variation to the setbacks prescribed above if an applicant can demonstrate that a proposal will be consistent and compatible with existing setbacks of the adjoining properties.

Side Setback

- C3. Side setbacks are to be a minimum of 900mm.

Rear Setback

- C4. Rear setbacks shall be a minimum 30% of the length of the site. This is irrespective of the location of private open space. This does not apply to corner lots.
- C5. For corner lots, rear setbacks shall be a minimum of 4 metres. Rear setback relate to the proposed rear setback of the dwellings, not the existing rear setback.
- C6. In the case of a detached dual occupancy, where one dwelling is situated behind another dwelling that has principal street frontage, the rear dwelling must be setback at least 1 metres from the common boundary between the two dwellings.

Articulation Zone

- C7. An articulation zone shall be permitted in the front setback to the primary street frontage. The articulation zone is limited in width to 25% of the building width and 1.5 metres in length.

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- C8.** Building elements permitted in the articulation zone include: verandahs, porticos/ entry features, bay windows, awnings, shade structure, window box treatment, balcony, patio, pergola, terrace or verandah. These elements shall not extend above the eave gutter line, other than a pitched roof to an entry feature or portico. This shall have the same pitch as the roof of the dwelling house. Building elements permitted in the articulation zone shall integrate with the overall design of the dwelling house and shall not appear as a 'tack on' structure.
- C9.** The area of building elements is not included in calculations for landscaped area or private open space.

Residential

3.7. Building Height

Objectives

- O1. To establish maximum storey limits for dual occupancy development
- O2. To establish minimum floor to ceiling heights for dual occupancy development
- O3. To ensure that dual occupancy development integrates within the existing landscape
- O4. To maintain solar access and privacy for new, existing and future residents.
- O5. To permit attics where they do not impact on the bulk and scale of a dwelling.
- O6. To maintain sunlight access, privacy and amenity for new and existing residents.

Development Controls

- C1. The maximum height of a dual occupancy dwelling is two (2) storeys.

Note: Single storey dual occupancies shall have a maximum building height of 7 metres (Figure 25).

- C2. Two storey development will only be considered directly adjoining the principal street frontage where there are no adverse privacy and overshadowing impacts:
 - Where the second storey is articulated and integrated into the design of the development;
 - Where it is consistent with other development in the vicinity.
- C3. Two storey development, where dwellings face a secondary street (including corner allotments and laneways) may be considered where development:
 - Provides front setbacks as required for primary street frontages, where development is oriented and has a driveway to that street,
 - provides all landscaped area and private open space as required by the DCP,
 - sunlight access is achieved as required by the DCP,
 - is not in conjunction with a heritage item.
- C4. The minimum floor to ceiling height for a dual

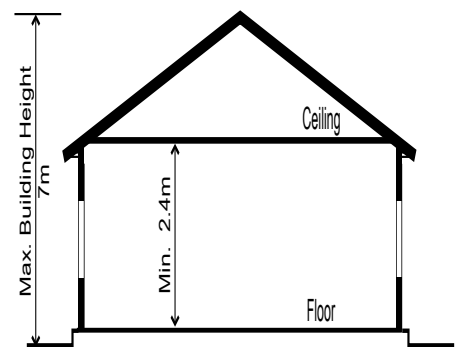


Figure 25. Single storey dwelling height

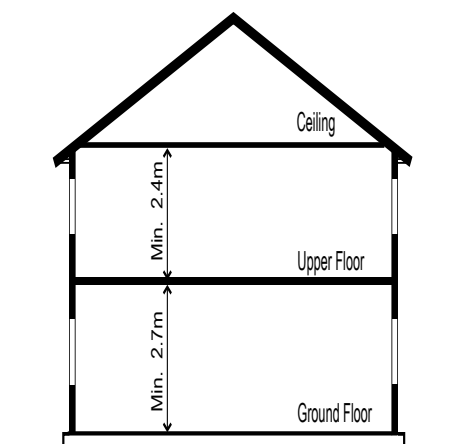


Figure 26. two storey dwelling height

occupancy is 2.4 metres (Figure 26).

- C5.** Attics are permissible, only where they comply with all other height and floor to ceiling height requirements.
- C6.** Attics are to be designed to fit within the building envelope (with the exception of dormer windows) and are not to increase the bulk and height of the roof.
- C7.** Council may only consider dormer style rooms, only where it is located within the roof line of the dwelling house and facing the principal street or a public park and do not impact on neighbouring properties privacy.
- C8.** Dormer windows may be included which are no higher than the height of the main roof of the building, no greater than 1.5 metres in width and are not to incorporate an access or balcony.

Note: The maximum height for a dual occupancy (in metres) is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps

3.8. Building appearance

Objectives

- O1.** To ensure residential amenity is maintained through controlling the bulk and scale of dual occupancy development and providing separation between dwellings.
- O2.** To require good dwelling design outcomes through ensuring dwellings are designed to have regard to the size, shape and orientation of the allotment it is to be located on.
- O3.** To ensure architectural differentiation of design to create interesting buildings that are not dominated by large scale 'box' type dwellings.
- O4.** To minimise the impact of dual occupancy dwellings in areas where there are predominately detached single storey houses.
- O5.** To preserve the amenity of adjoining development and minimise the impact on the streetscape.
- O6.** To ensure garages do not dominate the dwellings and the streetscape.
- O7.** To permit innovative design solutions to ensure that materials and landscaping are appropriate for the area.
- O8.** To maintain, and enhance, the appearance of residential areas through the detailing, materials and design of dwellings and to compliment and integrate new development into the surrounding locality.
- O9.** To ensure that dwellings located on corner lots are designed to address both street frontages.
- O10.** To ensure that security and surveillance of the street is maintained through dwelling design.
- O11.** To ensure new development have facades which define and enhance the public domain and desired street character.
- O12.** To ensure that building elements are integrated into the overall building form and façade design.

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Development Controls

Design

- C1.** The design of a dual occupancy shall have regard to the size, shape and orientation of the allotment the dwelling is to be located on in relation to:
- the type of dual occupancy proposed,
 - the position of the dwelling on the allotment,
 - Opportunities for solar access,
 - The maximisation of private open space, and
 - Minimising the potential for overlooking.
- C2.** Dual Occupancy design and its architectural style is to interpret and respond and not be in strong visual contrast to the positive character of the locality, including setbacks, height, and dominant patterns, textures and compositions of buildings and their elements such as roof shape, pitch and overhangs, entry porches, verandas, balconies and terraces, materials, finishes, fixtures, patterns, fenestrations, colours and detailing and the location and proportion of windows and doors.

Bulk and scale

- C3.** Maximum length of walls along the first floor side boundaries shall be 10 metres without any indentations, offsets or other articulation features.
- C4.** Indentations or offsets shall be a minimum width of 1 metre from the ground floor external wall.

Front Façade

- C5.** Whilst Council encourages innovative design, it is important that key character defining design elements such as setbacks, height, roof form, detailing and materials visible from public areas and adjoining properties, are not in strong visual contrast with buildings in the vicinity.
- C6.** Building design is to enhance the existing built character by translating into contemporary design solutions the themes found in the neighbourhood.
- C7.** At a minimum, the front façade of each dwelling in a dual occupancy shall orientate the front door and a window of a habitable room on the ground floor to address the principal street frontage.
- C8.** Where lots have dual frontages, some form of address, such as windows, architectural features, and surveillance, must also be provided to the secondary street.
- C9.** New dual occupancies are to have a maximum straight wall length of 10 metres to a public street after which the wall must be recessed/offset to provide some visual relief. Punctuation by bay windows, verandahs and the like shall be provided within that 10 metres straight wall. Building facades should be modulated in plan and elevation and articulated to reduce the appearance of building bulk and to express the elements of the buildings architecture.

3.9. Specific controls for Dual Occupancy Development on Arterial Roads and/ or the Transitway

Objectives

01. To ensure vehicular access and egress to dual occupancies located on arterial roads is safe for all vehicles and pedestrians.

Development Controls

02. Dual Occupancy development on arterial roads and/ or the Transitway must comply with the following provisions:
 - All vehicles must be able to enter and leave the property in a forward direction
 - Manoeuvring space must be provided within the property to facilitate subclause (a) above.
 - Tandem parking must not be provided in front of garages.
 - For corner lot dual occupancy, access must be provided via the road with the lesser traffic, as expressed as Average Annual Daily Traffic (AADT).
 - Access to the development must be provided via one driveway only.

Note: Council may permit additional driveway paving in the front setback area where no other alternative exists. Landscaped area controls are still to be complied with.

4. Attached and Small Lot Housing

4.1. Lot size and frontage

Objectives

01. To ensure that attached housing occurs on land that will allow the achievement of a high level of amenity for its occupants and adjoining residences.
02. To enable the development of dwelling houses on small and/or narrow existing allotments.
03. To ensure lot and frontage sizes permit a high quality of urban design.
04. To allow sufficient area for landscaping, resulting in sufficient water infiltration into the soil.
05. To allow the creation of reasonable areas of private open space can be provided for each dwelling.
06. To ensure that small lot housing are designed to maximise lot dimensions.

Development Controls

- C1. The minimum lot size for each dwelling is 200m².
- C2. Attached and Small lot housing are not permitted on battleaxe allotments.
- C3. Attached housing is not permitted on the 'bulb' section of a cul-de-sac.
- C4. Existing allotments shall have a minimum frontage of 6 metres at the building line.
- C5. A minimum lot frontage of 6.5 metres at the building line is required after subdivision.

Note: The maximum floor space ratio for a multi dwelling housing in each zone is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

4.2. Setbacks

Objectives

- O1.** To minimise adverse bulk and scale and amenity impacts from multi dwelling housing on adjacent and adjoining properties.
- O2.** To provide for visual and acoustic privacy for dwelling occupants and adjoining residents.
- O3.** To provide area on site for landscaped area to ensure the growth of plants, grasses and trees in order to enable a landscaped setting for dwellings.
- O4.** To ensure multi dwelling developments are compatible with its setting and maintain the established character of the streetscape.
- O5.** To ensure reasonable solar access can be achieved for adjoining residences.
- O6.** To establish the desired spatial proportions of the street and define the street edge.
- O7.** To create a clear threshold by providing a transition between public and private space.
- O8.** To allow for surveillance of the street.
- O9.** To maximise building separation to provide visual and acoustic privacy.

Development Controls

Front Setback

- C1.** The minimum setback from the principal street frontage shall be 4 metres. The maximum front setback is 5.5m.
- C2.** Garages shall be setback 1m behind the main façade, or 5.5m from the front boundary, whichever is greater, of each dwelling.
- C3.** For a corner allotment, the minimum setback from the secondary street frontage shall be 4 metres, except where adjacent residential development is close to the boundary, in which case the setback may be similar to that which exists.
- C4.** Basement car parks are not to extend beyond the building envelope into the front setback, and are not permitted for lots less than 8 metres in length.

Side and Rear Setbacks

- C5.** The minimum side setback for remaining external side elevations shall be 900mm.
- C6.** Dwellings shall be built to at least one boundary (within 150mm of the boundary).
- C7.** The minimum rear setback is 3 metres for each dwelling.
- C8.** Any elevation that is within 900mm of a boundary shall not contain any openings associated with the main living area.

Note: Additional side setbacks or offsets may be required for maintenance

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4.3. Height

Objectives

- O1. To establish maximum storey limits for attached housing.
- O2. To establish minimum floor to ceiling heights for attached housing.
- O3. To ensure that multi dwelling and attached housing integrates within the existing landscape.
- O4. To ensure reasonable solar access and privacy for new, existing and future residents and the public domain.
- O5. To ensure future development responds to the desired scale and character of the street and local area.
- O6. To increase the sense of space in dwellings and provide well proportioned rooms.

Development Controls

- C1. The minimum floor to ceiling height for all development shall be 2.4 metres.

Note: Single storey dwellings shall have a maximum building height of 7 metres.

- C2. The external side wall height shall be a maximum of 7 metres.

Attics

- C3. Attics are permitted in attached housing only where they comply with all other height and floor to ceiling height requirements.
- C4. Attics are to be designed to fit within the building envelope (with the exception of dormer windows) and are not to increase the bulk and height of the roof.
- C5. Dormer windows are only permitted where high sill windows are implemented.
- C6. Council may only consider dormer style rooms, only where it is located within the roof line of the dwelling house and facing the principal street, a public park or an internal road and does not impact on neighbouring properties privacy.
- C7. Dormer windows may be included which are no higher than the height of the main roof of the building, no greater than 1.5 metres in width and are not to incorporate an access or balcony.

Note: The maximum height for multi dwelling and attached housing (in metres) is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

4.4. Building Appearance and Facilities

Objectives

01. To ensure attached housing is compatible with its setting and maintain the established character of the streetscape.
02. To optimise streetscape quality.
03. To ensure building design of a high standard.
04. To ensure development integrates with the existing streetscape.
05. To increase active street surveillance and security.
06. To promote high architectural quality in attached housing developments.
07. To ensure building elements are integrated into the overall building form and façade design.
08. To ensure the location of bin storage areas does not impact on the look and setting of attached housing, whilst placed in a convenient location.
09. To require adequate storage facilities to be provided.

Development Controls

- C1. The design of a attached housing shall have regard to the size, shape and orientation of the allotment the dwelling is to be located on in relation to:
 - the position of the dwelling on the allotment,
 - opportunities for solar access,
 - the maximisation of private open space, and
 - minimising the potential for overlooking.
- C2. Dwelling design and its architectural style is to interpret and respond and not be in strong visual contrast to the positive character of the locality, including setbacks, height, and dominant patterns, textures and compositions of buildings and their elements such as roof shape, pitch and overhangs, entry porches, verandas, balconies and terraces, materials, finishes, fixtures, patterns, fenestrations, colours and detailing and the location and proportion of windows and doors.
- C3. Building articulation on side facades built to the boundary is not required.

Front Façade

- C4. Whilst Council encourages innovative design, it is important that key character defining design elements such as setbacks, height, roof form, detailing and materials visible from public areas and adjoining properties, are not in strong visual contrast with buildings in the vicinity.
- C5. Building design is to enhance the existing built character by translating into contemporary design solutions the themes found in the neighbourhood.
- C6. Dwellings shall orientate the dwelling entry and at least one window to a habitable room overlooking all public domain areas on the ground floor.
- C7. Complex roof forms shall be avoided.

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Dwelling design

- C8.** Housing on steep or sloping blocks shall be built as a split level construction.
- C9.** The internal layout of the dwelling shall incorporate cross ventilation.
- C10.** Bathrooms, ensuites, laundries and walk in wardrobes shall be located to the side and rear of the dwelling.

Maintenance and storage

- C11.** Bin Storage areas shall be provided in a convenient location at the front of the dwelling, behind the building line, suitably screened from the street or any public place.
- C12.** The location of bin storage shall not impact upon the amenity of adjoining dwellings.
- C13.** A storage facility shall be provided in a location accessible from the front setback area, with minimum dimensions of 2 x 3 metres.

Parking

- C14.** The maximum width of a garage door for small lot dwellings is 2.5 metres.

Note: Refer to Part A for parking space requirements.

5. Multi Dwelling Housing

5.1. Lot size and frontage

Objectives

01. To ensure that multi unit development occurs on land that will allow the achievement of a high level of amenity for its occupants and adjoining residences.
02. To ensure lot and frontage sizes permit a high quality of urban design.
03. To allow sufficient area for landscaping, resulting in sufficient water infiltration into the soil.
04. To allow the creation of reasonable areas of private open space can be provided for each dwelling.
05. To ensure development provides street address and does not unduly affect the physical achievement of on-street parking.

Development Controls

Note: The amalgamation of land parcels into larger development sites is encouraged as this will result in improved forms of housing development and design.

- C1. The minimum lot size for multi dwelling housing is 900m².
- C2. Battleaxe allotments are not permitted to contain multiple dwellings.
- C3. Multi dwelling housing is not permitted with a frontage to roads with a carriageway less than 6.5 metres.
- C4. Where multi dwelling housing is proposed on the 'bulb' section of a cul-de-sac, additional on-site parking will be required.
- C5. A minimum lot frontage of 24 metres at the building line is required (Figure 27).
- C6. A minimum lot frontage of 20 metres at the building line for multi- dwelling housing is permitted where basement parking is proposed.

Note:

- The maximum floor space ratio for a multi dwelling

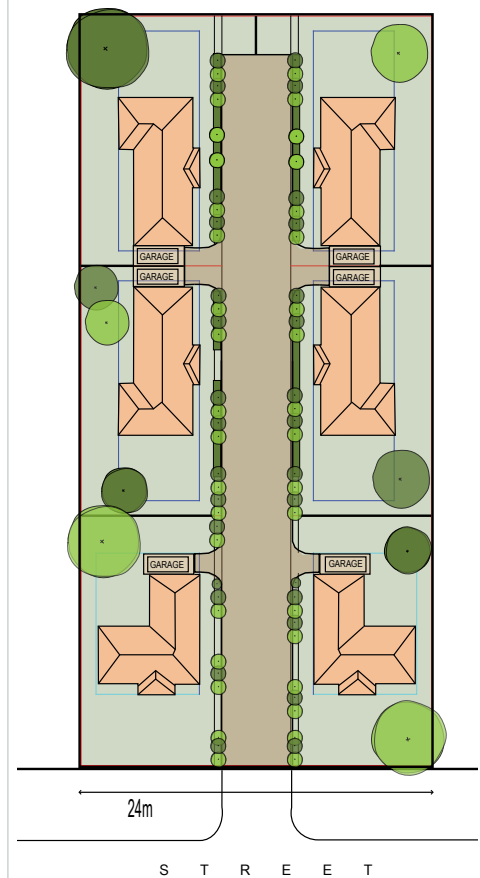


Figure 27. Multi Dwelling Housing frontage

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housing in each zone is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

- Where adjacent sites are developing concurrently, site planning options for development as an amalgamated site are to be explored.
- Narrow sites with frontages less than 20 or 24 metres at the building line, are to be amalgamated with another site, to provide sufficient width.

5.2. Setbacks

Objectives

01. To minimise adverse bulk and scale and amenity impacts from multi dwelling housing on adjacent and adjoining properties.
02. To provide for visual and acoustic privacy for dwelling occupants and adjoining residents.
03. To provide area on site for landscaped area to ensure the growth of plants, grasses and trees in order to enable a landscaped setting for dwellings.
04. To ensure multi dwelling developments are compatible with its setting and maintain the established character of the streetscape.
05. To ensure reasonable solar access can be achieved for adjoining residences.
06. To establish the desired spatial proportions of the street and define the street edge
07. To create a clear threshold by providing a transition between public and private space.
08. To allow for surveillance of the street.
09. To maximise building separation to provide visual and acoustic privacy.

Development Controls

Front Setback

- C1. The minimum setback from the principal street frontage shall be 6 metres.
- C2. Where front setbacks of adjacent dwellings differ from 6 metres, Council may approve a front setback which is similar to that of adjacent dwellings. Where setbacks of adjacent buildings differ significantly, the setbacks of the two will be averaged to provide the setback allowed for the new dwelling.
- C3. Garages shall be setback 1m behind the main façade of each dwelling.
- C4. For a corner allotment, the minimum setback from the secondary street frontage shall be 4 metres, except where adjacent residential development is close to the boundary, in which case the setback may be similar to that which exists.
- C5. Basement car parks are not to extend beyond the building envelope into the front setback.

Side and Rear Setbacks

- C6. The minimum side setback shall be 900mm.
- C7. The minimum rear setback is 3 metres for each dwelling within a multi dwelling development.

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- C8.** Second storeys and above shall be setback at least 4 metres from the rear and side property boundaries of the dwelling.

Note: The side setback relates to the side of the dwelling irrespective of its orientation on the site. The rear setback relates to the rear of the dwelling irrespective of how it is orientated and does not relate to the rear of the site.

- C9.** Notwithstanding the above, the rear boundary of the property site shall have a minimum setback of 4 metres.
- C10.** Any elevation that is within 3 metres of a boundary shall not contain any openings associated with the main living area.

Use of Setbacks

- C11.** For multi dwelling development, private open space courtyards may intrude into the front setback where it is demonstrated that issues of privacy and residential amenity are maintained and the streetscape is reasonably consistent with established dwellings. Any such intrusion shall be limited to half the front setback.

5.3. Height

Objectives

- O1.** To establish maximum storey limits for multi dwelling housing.
- O2.** To establish minimum floor to ceiling heights for multi dwelling housing.
- O3.** To ensure that multi dwelling and attached housing integrates within the existing landscape.
- O4.** To ensure reasonable solar access and privacy for new, existing and future residents and the public domain.
- O5.** To ensure future development responds to the desired scale and character of the street and local area.
- O6.** To increase the sense of space in dwellings and provide well proportioned rooms.

Development Controls

- C1.** The maximum height for multi dwelling housing is two (2) storeys.
- C2.** The minimum floor to ceiling height for all development shall be 2.4 metres.
- C3.** Two storey dwellings shall have a maximum building height of 9 metres.
- C4.** Single storey dwellings shall have a maximum building height of 7 metres.
- C5.** The maximum building height of one storey applies developments (Figure 28) such as:
- Row(s) or other arrangements of townhouses/terraces that are situated to the rear of townhouses/terraces at the street frontage (e.g. a second row of townhouses).
 - A row of townhouses that predominately faces the side boundary rather than the street, for that part of the building that is not within the first 20m of building length (i.e. the first 20m is permitted to be 2 storeys and the building is then required to step down to 1 storey).
- C6.** Two storey development, where dwellings face a secondary street (including corner allotments

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and laneways) may be considered where development:

- Provides front setbacks as required for primary street frontages, where development is oriented and has a driveway to that street,
- provides all landscaped area and private open space as required by the DCP,
- sunlight access is achieved as required by the DCP,
- is not in conjunction with a heritage item and
- is within the two storey height zone.

Attics

- C7.** Attics are permitted in multi dwelling housing only where they comply with all other height and floor to ceiling height requirements.
- C8.** Attics are to be designed to fit within the building envelope (with the exception of dormer windows) and are not to increase the bulk and height of the roof.
- C9.** Dormer windows are only permitted where high sill windows are implemented.
- C10.** Council may only consider dormer style rooms, only where it is located within the roof line of the dwelling house and facing the principal street, a public park or an internal road and does not impact on neighbouring properties privacy.
- C11.** Dormer windows may be included which are no higher than the height of the main roof of the building, no greater than 1.5 metres in width and are not to incorporate an access or balcony.

Note: The maximum height for multi dwelling and attached housing (in metres) is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

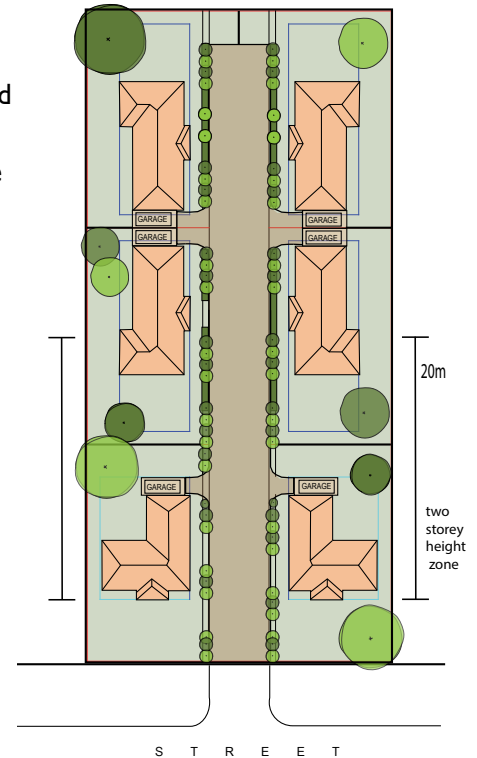


Figure 28. Multi Dwelling Housing height

5.4. Building Appearance

Objectives

- O1.** To ensure multi dwelling developments are compatible with its setting and maintain the established character of the streetscape.
- O2.** To optimise streetscape quality.
- O3.** To ensure building design of a high standard.
- O4.** To ensure development integrates with the existing streetscape.
- O5.** To increase active street surveillance and security.
- O6.** To promote high architectural quality in multi housing developments.
- O7.** To ensure building elements are integrated into the overall building form and façade design.

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Development Controls

- C1.** The design of a multi dwelling and attached housing shall have regard to the size, shape and orientation of the allotment the dwelling is to be located on in relation to:
- the position of the dwelling on the allotment,
 - Opportunities for solar access
 - The maximisation of private open space, and
 - Minimising the potential for overlooking.
- C2.** Dwelling design and its architectural style is to interpret and respond and not be in strong visual contrast to the positive character of the locality, including setbacks, height, and dominant patterns, textures and compositions of buildings and their elements such as roof shape, pitch and overhangs, entry porches, verandas, balconies and terraces, materials, finishes, fixtures, patterns, fenestrations, colours and detailing and the location and proportion of windows and doors.

Bulk and scale

- C3.** Maximum length of walls along the first floor side boundaries shall be 10 metres without any indentations or offsets or other articulation features.
- C4.** Indentations or offsets shall be a minimum width of 1 metre from the ground floor external wall.

Front Façade

- C5.** Whilst Council encourages innovative design, it is important that key character defining design elements such as setbacks, height, roof form, detailing and materials visible from public areas and adjoining properties, are not in strong visual contrast with buildings in the vicinity.
- C6.** Building design is to enhance the existing built character by translating into contemporary design solutions the themes found in the neighbourhood.
- C7.** Dwellings with street frontage shall orientate the dwelling entry and at least one window to a habitable room overlooking all public domain areas on the ground floor.
- C8.** 'Gun barrel' driveways shall be avoided through, dwelling location, curving of the driveway and landscaping.
- C9.** Complex roof forms shall be avoided.

Dwelling design

- C10.** Multi dwelling housing on steep or sloping blocks shall be built as a split level construction.
- C11.** The internal layout of the dwelling shall incorporate cross ventilation.
- C12.** Bathrooms, ensuites, laundries and walk in wardrobes shall be located to the side and rear of the dwelling.

6. Residential Flat Buildings

6.1. Lot size and frontage

Objectives

01. To encourage variety and choice in housing forms by providing for a broad range of dwelling sizes that meet the requirements of people with differing housing needs.
02. Ensure that developments are compatible with both the established character and the desired future amenity of particular residential areas.
03. Ensure residential flat development is carried out on sites adequate in size and dimensions to provide appropriately proportioned development which is sited to allow for the provision of private outdoor space with regard to solar and daylight access, and convenient vehicle access and parking where required.
04. To create residential flat building development that is built across a site, to enable adequate deep soil zones at the rear of sites.
05. To avoid landlocking of adjoining sites.
06. To maximise the potential of land to best achieve urban consolidation objectives and to improve the quality and variety of housing design.

Development Controls

- C1. The minimum lot frontage for residential flat buildings at the property line is as follows:
 - 24 metres if the property is located in the highlighted area in maps 1-8 (see Appendix 1), or
 - 28 metres for all other properties, or
 - 45 metres for all development 6 storeys or more.

Note: Council requires that the consolidation of more than one existing residential holding for residential flat development be undertaken, in order to meet all the requirements of this development control plan.

- C2. Residential Flat Buildings are not permitted on battleaxe lots.
- C3. Council does not permit individual properties being left between two developments in a manner that would limit its future development potential for flat development and/or otherwise impact on its value.
- C4. Where consolidation has not been achieved through negotiation efforts, lots with a frontage of less than what is required under C1 shall be restricted to the development potential otherwise achieved Sections 3-4 of this Part.

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6.2. Site Coverage

Objectives

01. To provide for a variety of building forms to achieve a balance of building size and open space appropriate to the locality.
02. To ensure that any area affected by road widening is included in the calculation of site coverage.
03. To ensure that new development results in site coverage which allows adequate provision to be made on site for deep soil planting, landscaping, driveways, communal open space and On-Site Detention.

Development Controls

- C1. The maximum site coverage of any residential flat development shall not exceed 30% of the site area.

Note: The maximum floor space ratio for development is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

6.3. Setbacks and Separation

Objectives

01. To protect the amenity of adjoining sites, maintaining appropriate residential character and providing adequate sunlight to dwellings and private open space.
02. To permit flexibility in the siting of buildings
03. To require setbacks to respond to the site and proposed development dimensions.
04. To provide for a landscaped setting including deep soil planting for residential flat buildings.
05. To provide visual and acoustic privacy for existing and new residents.
06. To minimise any overshadowing of adjacent properties and their private or communal open spaces.

Development Controls

Front Setback

- C1. The minimum setback for residential flat buildings from the principal street frontage shall correspond to the existing prevalent building setback, but be no less than 6 metres. This setback may be reduced, where:
 - adjacent residential development is closer to the front boundary, or
 - site specific controls contained in this DCP detail otherwise.
- C2. The front setback requirements shall be exclusive of any area required for road widening.
- C3. For corner parcels, the minimum setback from the secondary street frontage shall be 4.0 metres except:

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- where adjacent residential development is closer to the boundary, in which case the setback may be similar to that which exists, or
 - site specific controls contained in this DCP detail otherwise.
- C4.** The area between the street alignment and building setback is to be landscaped except for areas used for driveways and paths for vehicles and pedestrians, gaining access to the site.

Rear Setback

- C5.** The minimum rear setback for a residential flat buildings shall be:
- **up to four storeys**- 20% the length of the site, or 6 metres, whichever is greater.
 - **five storeys or more** - 30% the length of the site.

Side Setbacks

- C6.** Side setbacks shall be a minimum of 3 metres.

Note: Side setbacks shall comply with building separation requirements.

Separation

- C7.** Separation between any adjoining buildings, between portions of the same building or where there is more than one building on an allotment shall be:

For residential up to 4 storeys

- 12 metres between habitable rooms and balconies.
- 9 metres between habitable rooms and balconies and non-habitable rooms.
- 6 metres between non-habitable rooms.

For residential between 5- 8 storeys

- 18 metres between habitable rooms and balconies.
- 13 metres between habitable rooms and balconies and non-habitable rooms.
- 9 Metres between non-habitable rooms.

- C8.** Where a building steps back to create a terrace, the building separation distance for the floor below applies.

Use of Setbacks

- C9.** Side and rear boundary setbacks shall be landscaped and may include private courtyards, communal open space and clothes drying facilities.
- C10.** One side setback may be used for access and parking if required, provided that a landscape buffer with a minimum width of 1m is provided to the side boundary.
- C11.** The minimum setback for basement and semi-basement levels to the side and rear boundaries of an allotment is 3 metres.

Upper Storey Setback

- C12.** An minimum upper storey setback of 3m is required for all floors above 4 storeys.

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6.4. Height

Objectives

01. To permit a scale of development compatible with the localities topography, and the context, scale and character of the street and streetscape.
02. To preserve the amenity of adjoining residents.
03. To ensure apartments to receive satisfactory solar access.

Development Controls

- C1. The minimum floor to ceiling heights shall be:
 - 2.7 metres for habitable rooms.
 - 2.4 metres for non habitable rooms.
 - 2.4 metres for the second storey section of two storey units if 50% or more of the apartment has a 2.7 metre minimum ceiling height.
 - Attic spaces shall have 1.5 metre minimum wall height at the edge of room with a 30 degree minimum ceiling slope.
- C2. Ceiling heights shall be measure from finished floor level (FFL) to finished ceiling level (FCL).
- C3. Maximum building height in storeys shall be provided in accordance with the table below:

Permitted Height (storeys)	
Height (m)	storeys
9	1
11	2
12.5	3
15	4
18	5
21	6
24	7

- C4. Attics are permissible in residential flat buildings, where they comply with height and floor space ratio requirements.
- C5. Dormer windows are only permitted where high sill windows are implemented.
- C6. Attic spaces are to have a minimum wall height at the edge of the room of 1.5 metres with a 30 degree minimum ceiling slope.

Note: The maximum permissible height for residential flat buildings is detailed within Holroyd Local Environmental Plan 2013, as a written statement and associated maps.

6.5. Building Depth

Objectives

- O1. To provide adequate solar access and natural ventilation for the amenity for building occupants.
- O2. To provide for dual aspect dwellings.
- O3. To permit building depths that relate to the conditions of the site and locality.
- O4. To allow for an optimum apartment layout.

Development Controls

- C1. The maximum internal plan depth of a residential flat building shall be 18 metres.
- C2. Council may consider internal plan depths deeper than 18 metres for some forms of residential flat development, where it can be demonstrated that satisfactory solar access and ventilation is achieved through higher floor to ceiling heights or wider frontages.

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6.6. Open Space

Objectives

- O1. To enhance the quality and liveability of the built environment.
- O2. To ensure the retention, establishment and healthy growth of trees in urban areas.
- O3. To provide residents with areas for passive and active recreation.
- O4. To ensure that open space is consolidated and defined to establish a useable space.
- O5. To provide high amenity communal open space on roof tops, podiums and internal courtyards.
- O6. To create a pleasant, safe and attractive living environment.
- O7. To assist managing the water table and water quality.
- O8. To ensure that balconies are integrated into the overall architectural form and facade of buildings.
- O9. To ensure primary private open space is provided for each dwelling and is in sufficient dimensions to contain a table and chair or a table and two chairs for units with two or more bedrooms
- O10. To provide private open space that has high usability and displays high visual privacy.
- O11. To ensure adequate soil depth and volume appropriate for the establishment of plantings shall be used for planting on structures.

Development Controls

Communal Open Space and Landscaping

Note: Communal open space may be included in the calculation of the landscaped area for residential flat buildings, where compliant with the definition of landscaped area.

- C1. Communal open space shall be provided behind the building line, in one unbroken parcel. It shall have a minimum dimension of 4 metres in any direction.
- C2. For mixed residential flat and commercial buildings, where it is not possible to provide communal open space on ground floor, it can be provided on podium level.
- C3. For residential flat buildings, communal open space shall have a minimum area of 10m² per dwelling or 30% of the site area, whichever is the greater.
- C4. Communal open space shall be located where it is highly visible and directly accessible to the maximum number of dwellings. Excessively long paths of travel to and from communal open space must be avoided.
- C5. Communal open space should be located adjacent to surrounding public open spaces such as reserves and public through site links where appropriate
- C6. Communal open space shall be integrated with the site and designed with uses such as circulation, BBQ or play areas or passive amenity.
- C7. Communal open space shall be appropriately landscaped and ensure active and passive recreation through the provision of facilities such as seating, pergolas, barbeque facilities and

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the like.

- C8.** Communal open space shall be clearly defined.
- C9.** Communal open space shall be fenced and contain one item of heavy-duty playground equipment per five dwellings, and may contain facilities for adult recreation and permanent seating.

Note: Where possible, communal open spaces should have a northern aspect and contain a reasonable proportion of unbuilt upon (landscaped) area and paved area.

Private Open Space and balconies

- C10.** Each dwelling within a residential flat building shall have access to primary private open space, in the form of a deck, balcony, courtyard or terrace, accessible from main living areas of the dwelling.
- C11.** Balconies shall be a minimum area of 10m², with a minimum dimension in any one direction of 2m for studio and 1 bedroom units and 2.4m for 2+ bedroom units shall be provided as private open space for each dwelling.
- C12.** Private open space is not encouraged within the street setback unless as a terrace or verandah which provides the potential for passive surveillance to the street. This area is not included in the minimum private open space area calculation.
- C13.** Dwellings on the ground floor should be provided with a courtyard that has a minimum area of 10m² and a minimum dimension of 2.5 metres.
- C14.** Where courtyards are provided to the street side of an apartment, the maximum fence wall height is 1.5 metres.
- C15.** 1.8 metre high courtyard walls are not permitted to the public domain.
- C16.** Where possible, private open space shall have a northerly or easterly aspect. Gas and water outlets shall be provided in these areas.
- C17.** Secondary balconies should be considered for additional amenity.
- C18.** Balustrades shall not be fully transparent, but shall be designed to allow views and casual surveillance of the street while providing for safety and visual privacy.
- C19.** The depth of balconies shall not cause sunlight penetration to dwellings to be compromised.
- C20.** Balconies shall not be continuous across the entire facade of the residential flat building.
- C21.** Gas and water outlets shall be provided on primary balconies and terraces.
- C22.** Appropriate measures shall be taken to ensure visual privacy is maintained between balconies within a development.
- C23.** Furniture layouts must accompany all development applications to ensure the useability of all balconies.

Planting on structures

- C24.** Proposed plantings on structures shall be provided with appropriate soil conditions, drainage and irrigation.

Note: The minimum soil provision requirements, per plant type is provided in Part A of this DCP

6.7. Building Appearance

Objectives

01. To protect the amenity of adjoining sites, maintaining appropriate residential character and providing adequate sunlight to dwellings and private open space.
02. To provide high architectural quality in residential flat buildings.
03. To ensure that building elements are integrated into the overall building form and facade design.
04. To ensure that new developments have facades which define and enhance the public domain and desired streetscape character and provide visual interest.
05. To integrate the design of the roof into the overall facade, building composition and desired contextual response to ensure the appropriate proportion, scale and detail for buildings.
06. To provide quality roof designs, which contribute to the overall design and performance of residential flat buildings and mixed residential and commercial buildings.
07. To consider the relationship between the whole building form, the façade and building elements by ensuring that the pattern and rhythm established by the proportions of the façade, the modulation of the external walls and the design of façade elements including their materials and detailing are considered in the design process.

Development Controls

Facades

- C1. Facades are to be composed with an appropriate scale, rhythm and proportion, which responds to the building's use and desired contextual character. Design solutions may include:
 - Defining a base, middle and top related to the overall proportion of the building;
 - Expressing key datum lines in the context using cornices, a change in material or building setback;
 - Expressing the internal layout of the building, for example, vertical bays or its structure, such as party wall-divisions;
 - Expressing the variation in floor to floor height, particularly at the lower levels;
 - Articulating building entries with awnings, recesses, blade walls and projecting bays;
 - Selecting balcony types which respond to the street context.
- C2. Façade designs shall reflect the orientation of the site using elements such as shading devices, light shelves and bay windows as environmental controls, depending on the facade orientation.
- C3. All walls to the street shall be articulated by either/or windows, verandahs, balconies or blade walls. Such 'articulation' elements may be forward of the required building line up to a maximum of 600mm.
- C4. Buildings located on corner sites are to be articulated to address each street frontage and shall define prominent corners.
- C5. Express important corners by giving visual prominence to parts of the facade, for example, a change in building articulation, material, colour or roof expression.

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- C6.** Building services, such as drainage pipes shall be coordinated and integrated with overall facade and balcony design.
- C7.** Security grills, ventilation louvres and carpark entry doors shall be integrated with the design of the overall facade.
- C8.** Security devices fitted to building entrances and windows shall be transparent to allow for natural surveillance.

Roof Design

- C9.** Roofs shall be designed to relate to the desired built form and context and character of the street.
- C10.** Roofs may be articulated, or broken down its massing on large buildings, in order to minimise the apparent bulk or to relate to a context of smaller building forms.
- C11.** Avoid directly copying elements and detail of single family houses in larger flat buildings.
- C12.** Pitched roofs will not be permitted in the following circumstances:
 - Where a pitched roof design does not relate to the existing urban context,
 - Where a pitched roof increases the visual bulkiness of a proposed building,
 - Where land has been rezoned to high density residential after 5 August 2013.
- C13.** Roof design is to respond to the orientation of the site through using eaves and skillion roofs to respond to sun access.
- C14.** The visual intrusiveness of service elements shall be minimised by integrating them into the design of the roof. Elements include: lift over-runs, service plants, air conditioning units, chimneys, vent stacks, telecommunication infrastructures, gutters, downpipes and signage.
- C15.** The maximum height for roofs, from the top ceiling height to the ridgeline is 3m.
- C16.** Consideration should be given to facilitating the use of roofs for sustainable functions such as:
 - Installing rain water tanks for water conservation,
 - Orient and angle roof surfaces suitable for photovoltaic applications,
 - Allow for future innovative design solutions such as water features or green roofs.

6.8. Building Entry and Pedestrian Access

Objectives

- O1. To ensure the optimal accessibility and usability of the site, its buildings and associate spaces, for all residents and visitors.
- O2. To provide entrances that orient residents and visitors.
- O3. To contribute positively to the streetscape and building facade.
- O4. To require development which is well connected to the street and contributes to the accessibility of the public domain.
- O5. To ensure that all entrances are safe and secure.
- O6. To ensure active surveillance and activation of the street or public places.

Development Controls

- C1. Building entries shall be a clearly identifiable element of the building.
- C2. Entrances shall be visible from the street, sheltered and well lit.
- C3. Entrances shall be designed to avoid ambiguous and publicly accessible small spaces in entry areas.
- C4. Clear lines of sight shall be provided between one circulation space and the next.
- C5. The main building entry is to be separate from car parks or car entries.
- C6. Ground floor dwellings that are oriented towards the street may have their own entrances from the street.
- C7. High quality accessible routes are to be provided to the following areas of the site;
 - major entries:
 - lobbies,
 - communal open spaces,
 - site facilities,
 - parking areas, and
 - public streets.
- C8. The main building entrance shall be designed to be accessible from the street and car parking areas for less mobile persons.
- C9. Pedestrian and vehicle access ways are to be separate and clearly distinguishable.
- C10. The accessibility standard set out in Australian Standard AS 1428 (parts 1 and 2) is to be followed as a minimum.
- C11. Entries and circulation space shall be designed to allow movement of furniture between public and private spaces.

6.9. Parking and Vehicular Access

Objectives

- O1.** To integrate vehicular access and parking facilities with the design of the overall building, landscape and site design.
- O2.** To minimise the visual impact of vehicular access.
- O3.** To avoid conflicts between pedestrians and vehicles.
- O4.** To provide adequate car parking for the buildings users and visitors.

Development Controls

Note:

- General parking requirements are located in Part A of the DCP.
 - General car parking provisions for residential development can be found in section 1.12 of this Part
- C1.** Only basement carparking will be permitted for residential flat buildings.
 - C2.** Vehicle access points shall be limited to a minimum.
 - C3.** Ensure that clear site lines at pedestrian and vehicle crossings.
 - C4.** Separate and clearly distinguish between pedestrian and vehicular access ways through landscaping and detailing.
 - C5.** The appearance of vehicle entries shall be improved by:
 - Setting back car park entries from the main façade.
 - Providing security doors to car park entries to avoid 'black holes' in the façade.
 - Continuing the facade material into the carpark entry recess for the extent visible from the street.
 - C6.** Where possible, vehicular parking entries shall be located off secondary streets.
 - C7.** Where possible, natural ventilation should be facilitated to basement and sub-basement areas.
 - C8.** Any ventilation grills or screening devices of car parking openings shall be integrated into the façade and landscape design.
 - C9.** Direct access shall be provided to from car parking facilities to lobbies.
 - C10.** Where on grade parking cannot be avoided, ensure the design of the site development mitigates any negative impact on the streetscape and street amenity by:
 - Locating the parking on the side of the site, or away from the primary street frontage.
 - Providing wrapped car parking.
 - Screening cars from view of streets and buildings.
 - Allowing for safe and direct access to building entry points.
 - Incorporating parking into the landscape design of the site.
 - C11.** Driveways associated with residential flat buildings shall be arranged to facilitate safe and efficient vehicular access. Vehicles shall be able to enter and leave the site in a forward direction with minimal on-site manoeuvring. (i.e. Maximum of a three point turn)

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- C12.** A full width plain concrete vehicle crossing shall be constructed at the vehicle entrance to the property in accordance with Council's requirements with a minimum width of 5m and a maximum width of 6m at the property boundary line.
- C13.** Car parking spaces allocated to dwellings that are built to the Adaptable Housing Standard – AS 4299 must comply with the dimensions specified in that standard.
- C14.** Access to resident parking areas shall be restricted via a security gate or door with an intercom, code or lock system. Visitor parking will be permitted in this area subject to intercom access being provided to each dwelling.
- C15.** One car wash bay shall be provided for all developments having 10 or more dwellings. The car wash bay shall be a common, independent area and not serve as a visitor parking space.

6.10. Dwelling Layout and Mix

Objectives

- C1. To ensure that the design and layout of every dwelling provides a high standard of residential amenity.
- C2. To maximise the environmental performance of dwellings.
- C3. To accommodate a variety of household activities and varied occupants needs.
- C4. To ensure a mix of residential dwelling types to accommodate a range of family types.
- C5. To ensure the provision of adaptable housing to meet a broad range of occupants needs over time.

Development Controls

Note: Universal housing provisions are within Section 1.13 of this Part.

Dwelling layout

- C6. The minimum internal floor areas for residential flat building dwellings shall be as follows:

Dwelling Type	Minimum Area
Studio dwelling	40m ²
1 bedroom dwelling	50m ²
2 bedroom dwelling	70m ²
3 bedroom dwelling	95m ²

Note: storage area provided for within the dwelling shall not be included in the above calculation.

- C7. Single aspect dwellings shall be limited in depth to 8 metres from a window.
- C8. The width of cross-over or cross-through dwellings over 15 metres deep shall be 4.5 metres or greater to avoid deep narrow dwelling layouts.
- C9. The back of a kitchen should be no more than 8 metres from a window.
- C10. Dwelling layouts shall be designed to be flexible for a range of different needs of future occupants by:
 - Being able to accommodate a variety of furniture arrangements;
 - Utilising flexible room sizes and proportions or open plans;
 - Ensuring circulation by stairs, corridors and through rooms is planned as efficiently as possible thereby increasing the amount of floor space in rooms.
- C11. Dwelling layouts are to be designed to respond to the natural environment and optimise site opportunities by:
 - orienting main living spaces towards the primary outlook and aspect, and away from neighbouring noise sources or windows;
 - locating main living spaces adjacent to main private open space;
 - Locating habitable rooms, and where possible kitchens and bathrooms, on the external face of the building thereby maximising the number of rooms with windows.
 - Maximising natural ventilation and solar access through providing, corner apartments, cross over or cross through apartments, split level or maisonette apartments or shallow single aspect

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apartments

- C12.** Apartment layouts and dimensions shall facilitate furniture removal and placement.

Dwelling Mix

- C13.** A mix of residential dwelling types between studio, one, two, and three plus-bedroom dwellings shall be provided within each residential flat building particularly in larger developments.
- C14.** The combined total number of studio and one-bedroom dwellings shall not exceed 20% of the total number of dwellings, within any single site.
- C15.** Where possible, a mix of one and three bedroom dwellings should be located on the ground floor where accessibility is easily achieved for families and the elderly.

6.11. Internal Circulation

Objectives

- O1.** To create safe and pleasant spaces for the circulation of residents and their possessions.
- O2.** To contribute positively to the form and articulation of the building facade and its relationship to the urban environment.

Development Controls

- C1.** Where dwellings are arranged off a double-loaded corridor, the number of dwellings accessible from a single core/corridor will be limited to eight (8). This criteria may be waived where:
- The development involves the adaptive reuse of a building,
 - where developments can demonstrate the achievement of the desired streetscape character and entry response, and
 - Where developments can demonstrate a high level of amenity for common lobbies, corridors and units.
- C2.** Amenity and safety in circulation spaces are to be increased by:
- Providing generous corridors widths and ceiling heights, particularly in lobbies and dwelling entry doors,
 - Providing appropriate levels of lighting, including the use of natural daylight, where possible,
 - Minimising corridor lengths to give short, clear sight lines,
 - Avoiding tight corners,
 - Providing legible signage noting dwelling numbers, common areas and the like,
 - Providing adequate ventilation.
- C3.** All common facilities within a development must be accessible.
- C4.** All staircases within a development shall be located internally.
- C5.** The location of sensitive noise rooms adjoining less sensitive noise rooms, corridors and stairwells shall be minimised.
- C6.** Locate habitable rooms with windows overlooking communal/public areas.

6.12. Facilities and Amenities

Objectives

- O1. To ensure essential amenities and facilities are incorporated within residential flat developments.
- O2. To ensure that adequate provision is made for site facilities.
- O3. To ensure that site facilities are integrated into the development and do not diminish or adversely affect residential amenity or building appearance.
- O4. To provide for adequate storage for everyday household items.

Development Controls

Laundries and other clothes drying facilities

- C1. Each dwelling shall be provided with individual laundry facilities located within the dwelling unit.
- C2. Open air clothes drying facilities should be provided in a sunny ventilated and convenient location, which is adequately screened from streets and other public places. 7.5 metres of line per dwelling shall be provided.
- C3. Mechanical drying appliances shall be provided for each dwelling and the provision of external drying areas at a rate of 3.0 metres of line per dwelling in a suitably screened position.

Garbage

- C4. Council garbage collection services will be provided from the public road frontage only. Where 15 or more dwellings are proposed for a site, Council may require special arrangements to be made for bulk garbage collection.

TV Antennae

- C5. A master antenna should be provided for any development of more than two dwellings.
- C6. Only one telecommunications / TV antenna / satellite dish will be permitted for each residential flat building.
- C7. Satellite dishes, telecommunication antenna and other ancillary facilities shall be located away from the primary street frontage and incorporated into the overall building design, where possible.

Fencing and Screen walls

- C8. The service courts or clothes drying areas shall be screened by walls at least 1.5 metres high.
- C9. Screens not being building walls may be of masonry or lapped, capped and stained timber or other material approved by Council, except that screen walls facing roads, pedestrian walkways, reserves or public places shall be of material used in the building external wall construction and in harmony with the building wall design.
- C10. Landscaped private courts shall be clearly defined either by building services or by screen walls or by fencing.

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Public Utilities

- C11.** Metre box rooms for utilities shall be provided in the basement of residential flat buildings.

Mail Boxes

- C12.** Mailboxes shall be integrated with the design of landscaped areas, fences and buildings, and shall not dominate the street front. They are to be clearly defined and easily accessible from the main access point of the building.
- C13.** Mailboxes shall be designed and provided so that they are convenient for residents, shall not be at 90° to the street, does not require a postal employee to enter the site and shall not clutter the appearance of the development from the street.

Note: Applicants should discuss with Australia Post the required dimensions and locations for mailboxes.

Storage

- C14.** Storage shall be provided in locations convenient for the dwelling. Options include:
- locating at least 50% of the required storage space within the dwelling;
 - dedicating storage rooms on each floor within the development;
 - dedicating storage in internal or basement car parks.

Note: Storage space shall be excluded from the calculation of FSR.

- C15.** Storage for individual dwellings not located within the dwelling shall be separate and secure for individual use.
- C16.** Storage facilities shall be provided at the following rates:

Dwelling Type	Minimum storage required
Studio Dwelling	6m ³
One Bedroom Dwelling	6m ³
Two Bedroom Dwelling	8m ³
3+ Bedroom Dwelling	10m ³

- C17.** Access to storage areas shall be accessible to wheelchair users and for less mobile persons.

Other

- C18.** All dwellings shall be clearly and appropriately numbered.
- C19.** A garden maintenance and storage area shall be provided in all developments. It shall be conveniently located and connected to water and drainage.

6.13. Natural Ventilation

Objectives

01. To ensure that all dwellings are designed to provide all habitable rooms with direct access to fresh air and to assist in creating thermal comfort for occupants.
02. To reduce energy consumption by minimising the use of mechanical ventilation, particularly air conditioning.

Development Controls

- C1. The site is to be planned to promote and guide natural breezes by:
 - determining prevailing winds and orienting buildings to maximise use;
 - locating vegetation to direct breezes and cool air as it flows across the site;
 - selecting or planting trees that do not inhibit air flow.
- C2. The building layout and section are to be utilised to increase the potential for natural ventilation. Design solutions include:
 - facilitating cross ventilation by designing narrow building depths and providing dual aspect dwellings (eg. cross through dwelling or corner dwellings);
 - facilitating convective currents by designing dwellings which draw cool air in at lower levels and allow warm air to escape at higher levels (eg maisonette dwellings and two-storey dwellings).
- C3. The internal layout of dwellings shall be designed to promote natural ventilation by:
 - minimising interruptions in air flow through a dwelling. The more corners or rooms airflow must negotiate, the less effective the natural ventilation;
 - grouping rooms with similar usage together, for example, keeping living spaces together and sleeping spaces together. This allows the dwelling to be compartmentalised for efficient summer cooling or winter heating.
- C4. Doors and operable windows are to be selected to maximise natural ventilation opportunities established by the dwelling layout. Design solutions may include:
 - locating small windows on the windward side (facing the prevailing winds) and larger windows on the leeward side (away from the prevailing winds) of the building thereby utilising air pressure to draw air through the dwelling;
 - using higher level casement or sash windows, clerestory windows or operable fanlight windows, including above internal doors to facilitate convective currents. This is particularly important in dwellings with only one aspect;
 - selecting windows which occupants can reconfigure to funnel breezes into the dwelling, such as vertical louvred, casement windows and externally opening doors.

6.14. Maintenance

Objectives

- O1. To ensure long life and ease of maintenance for residential flat buildings.

Development Controls

- C1. Initial high quality design and construction is the most effective way of ensuring the building has a long life and requires low maintenance.
- C2. Windows shall be designed to enable cleaning from inside the building, where possible.
- C3. Manually operated systems such as blinds, sun shades, pergolas and curtains are preferable to mechanical systems.
- C4. Durable materials, which are easily cleaned and graffiti resistant, are to be selected.
- C5. A fully automated commercial grade drip irrigation system shall be provided to all landscaped areas of the development.
- C6. A garden maintenance and storage area shall be provided in all developments. It shall be conveniently located and connected to water and drainage.

6.15. Waste Management

Objectives

- O1.** To avoid the generation of waste through design, material selection and building practises.
- O2.** To plan for the types, amount and disposal of waste to be generated during demolition, excavation and construction of the development.
- O3.** To encourage waste minimisation, including source separation, re-use and recycling.
- O4.** To ensure efficient storage, management and collection of waste through quality design facilities.

Development Controls

Note: General controls on waste management are located in Part A of this DCP.

- C1.** Bin storage areas shall:
 - be located behind the building line and screened from the street and any public place;
 - be accessible and in relatively close proximity to each dwelling;
 - allow for unobstructed access that does not exceed a grade of 1:8 for bins to be wheeled to the collection point;
 - not impact upon the amenity of adjoining premises or dwellings within the development, i.e. odour.
- C2.** Storage areas are to be of adequate size to store the required number of bins, durable and waterproof, well ventilated and should integrate with the design of the development.
- C3.** The floor of bin storage areas shall be made of concrete construction and shall be properly graded to the drain.
- C4.** A water hose shall be provided in close proximity to facilitate regular cleaning of bins and the storage area itself.
- C5.** An area is to be nominated on-site for communal composting.
- C6.** Every dwelling is to be provided with a waste cupboard or temporary storage area of sufficient size to hold a single days waste and to enable source separation.

7. Controls for Landlocked Sites

Objectives

01. To consider the likely environmental impacts of a proposed development, upon the amenity and enjoyment of land locked sites including shadow, privacy, noise, odour and visual impacts.
02. To encourage the consolidation of properties for the development of high density residential development in a manner that maximises the potential of land to best achieve the zone objectives.
03. To consider the consequential impacts of land locking upon the character of the streetscape and objectives of high density residential zones.
04. To ensure the consolidation of properties for the development of high density development in a manner that does not limit the future development potential and/or value of adjoining lands due to land locking.
05. To encourage the consolidation of properties for residential flat development in a way that improves the quality and variety of its design.
06. To discourage speculative withholding of land in a manner that artificially inflates land values and reduces housing affordability.
07. To provide guidelines for the development of sites which, if approved will result in the land locking of an adjoining site(s).
08. To ensure the preservation of the environmental and developmental integrity of development sites in Residential R4 zones and to maintain a satisfactory level of environmental amenity where consolidation cannot be achieved.
09. To provide development standards that encourage existing landlocked sites to be developed in a manner that is consistent in character with surrounding development.

Development Controls

Submission requirements

- C1. Development within Residential R4 zones should not result in the creation of land locked or isolated sites that are unable to be developed in such a way that complies with development standards and controls contained within Holroyd LEP and this DCP.
- C2. Where adjacent sites are developing concurrently, site planning options should be explored that consider either amalgamation or how the two developments will be integrated in terms of the public domain, open space etc.
- C3. Development proposals that create land locking or site isolation shall provide documentation at DA submission that demonstrates that a reasonable attempt has been made by the applicants to purchase the land locked site(s). Documentation shall, at least, include:
 - i) Two written valuations that represent the affected sites potential value. These are to be undertaken by two independent valuers registered with the Australian Institute of Valuers, and;
 - ii) Evidence that a genuine, reasonable offer has been made to the owner(s) of any

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adjoining lands are likely to be landlocked as a result of the development proposal proceeding.

Note:

- Potential value can include, (but is not limited to) the land locked site developed jointly with adjoining properties, or on its own, under Holroyd LEP and this plan.
 - A reasonable offer shall be a fair market value, and include for all expenses that would be incurred by the owner in the sale of the land locked site.
- C4.** Consideration during the development assessment process will be given to any submission, valuation or counter offer of sale made by, or on behalf of the owner(s) of the land locked site(s). Any counter offer that is largely different to those values submitted by the applicant, must be supported by a suitably prepared valuation report.
- C5.** Where a proposed development/amalgamation is likely to result in an isolated site then the applicants for the development site are to demonstrate how a future development on the isolated site can be achieved to ensure a high quality streetscape. The following should be addressed:
- Height
 - Carparking access
 - Site coverage
 - Constructability
 - Envelope separation
 - Open Space

Design requirements

- C6.** Proposed developments shall demonstrate the maintenance of a satisfactory level of amenity along the existing streetscape.
- C7.** The siting and design of the proposed development shall be sympathetic to dwellings on any potentially landlocked site(s).
- C8.** Side setback(s) to adjoining land locked site(s) shall be maximised and suitably landscaped.
- Note: This may be achieved by designing open space or the driveway access along this boundary
- C9.** Differences in building height between the proposed development and the landlocked site(s) should not exceed one storey when viewed from the public street. This requirement applies to the building for a width of one room, nominally 3 metres, and to the full depth of the development
- C10.** The proposed development should be designed in a manner that is sympathetic to the surrounding development. The development should not dominate or largely alter the streetscape and should have colour schemes which are sympathetic to the streetscape.
- C11.** The minimum setback from the principal street frontage shall be 6 metres. This setback is exclusive of any area required for road widening.
- C12.** For a corner allotment, the minimum setback from the secondary street frontage shall be 4 metres except:
- a) where adjacent residential development is closer to the boundary, in which case the setback may be similar to, but no less than, that which exists; or

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- b) where the adjacent residential development is a potential landlocked site and is setback greater than 4.0 metres, in which case the setback or a significant proportion of the setback should be increased or staggered in a sympathetic manner.
- C13.** Use of setback - The area between the street alignment and building setback is to be landscaped except for areas used for driveways and paths for vehicles and pedestrians, gaining access to the site. The controls relating to side and rear setbacks can be found in this Part B.

Developing existing land locked sites

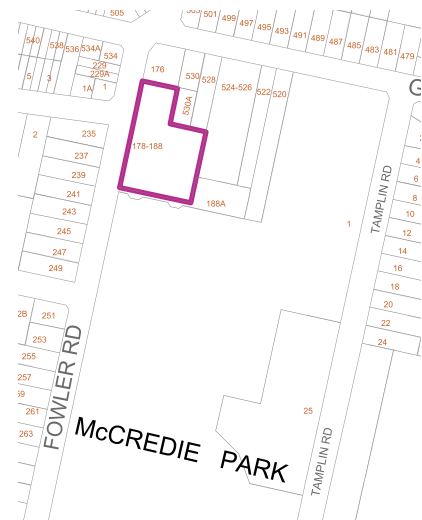
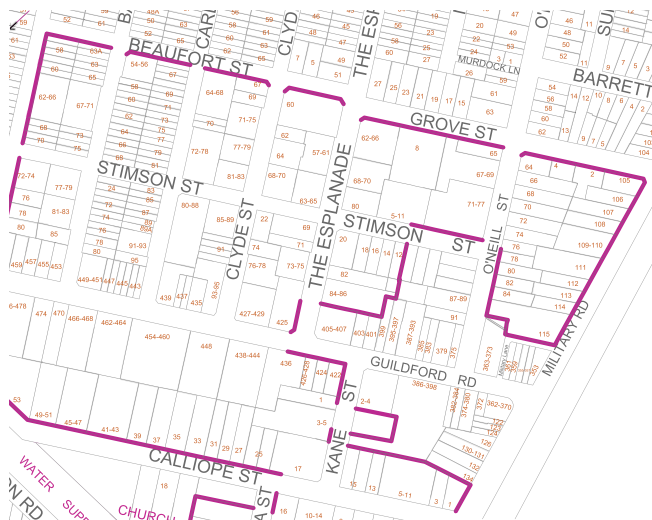
- C14.** Development proposals involving existing land locked and isolated sites shall be assessed on their merit. Proposals shall achieve a satisfactory level of amenity, privacy, solar access, landscaping and setbacks and shall not detract from the character of the streetscape.

Note:

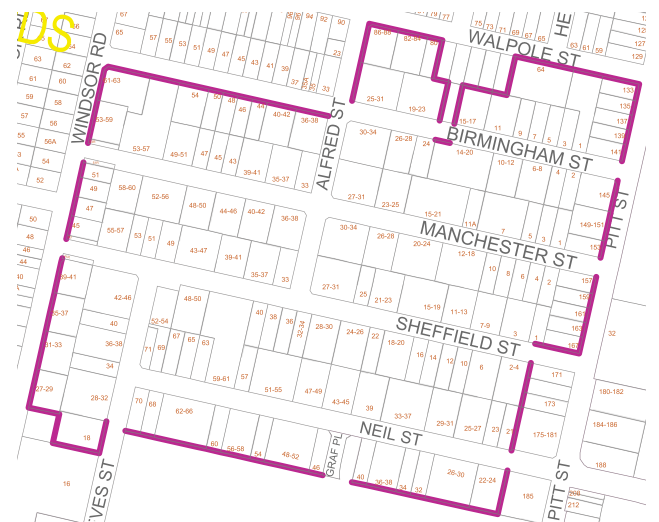
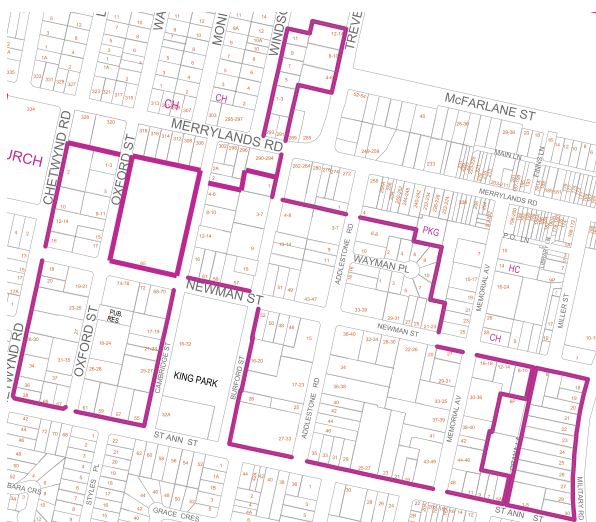
- It is likely that development of existing isolated sites may not achieve the maximum FSR & height potential.
- An existing landlocked site is a site that is limited in its development potential by either an existing higher density development or an existing current development consent for higher density development and is unable to be consolidated with adjoining properties for residential flat development due to such development or consents.

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Appendix I - Maps I-8

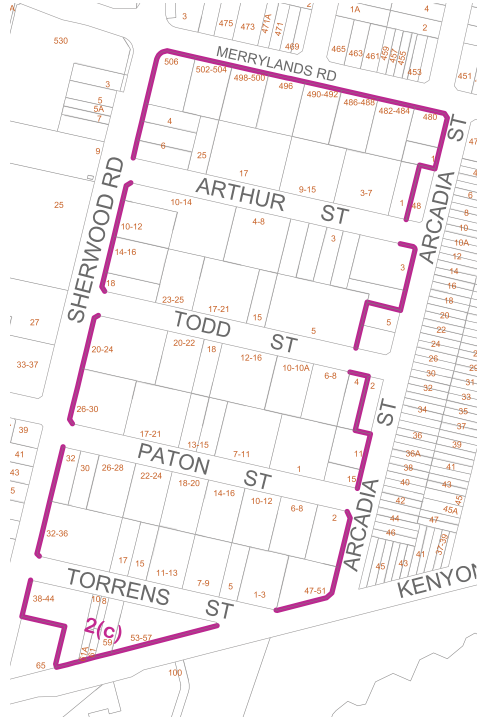


Maps I and Ia- Guildford



Maps 2 and 2a- Merrylands

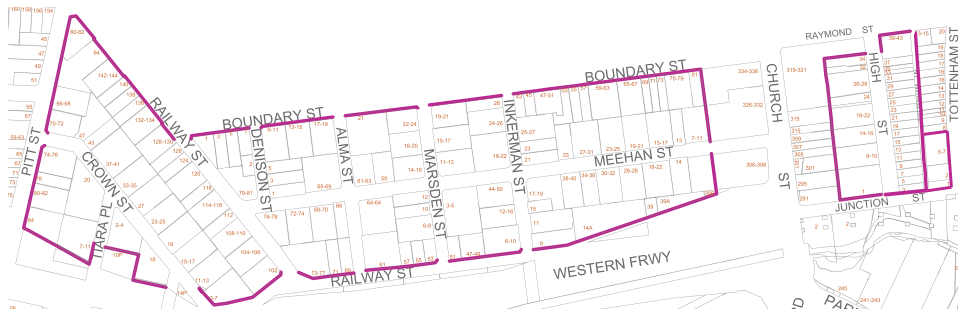
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Maps 3- Merrylands West

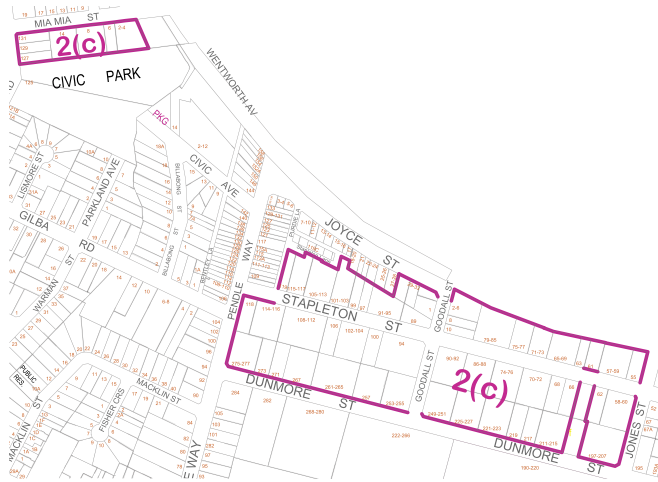


Maps 4- Wentworthville

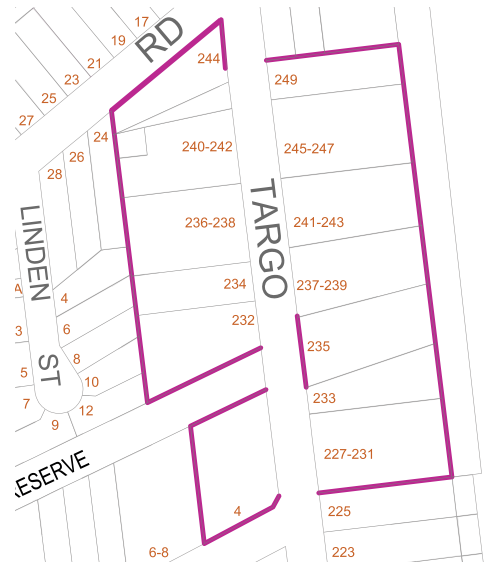


Maps 5- Parramatta/Granville

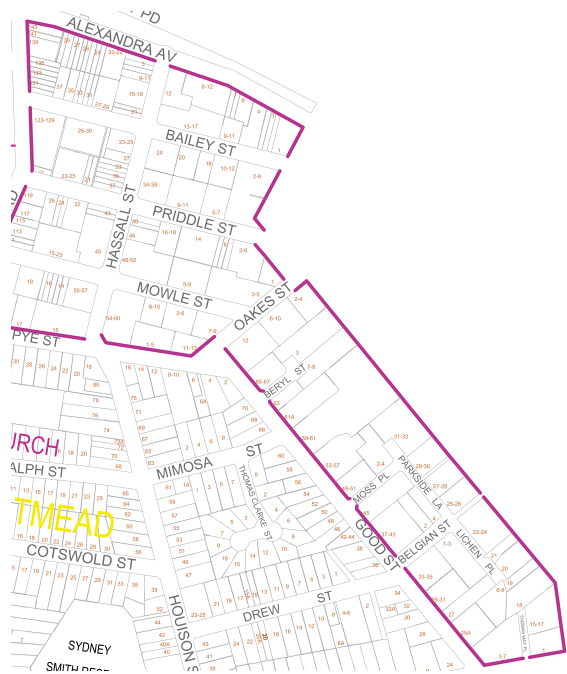
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Maps 6- Pendle Hill



Maps 7- Toongabbie



Maps 8- Westmead