

## Heritage Inventory Sheet

<b>Item Name</b>	Federation Bungalow		
<b>Recommended Name</b>	Federation Bungalow / Former Malabar Private Hospital		
<b>Site Image</b>			
<b>Address</b>	3 Bennett Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	43	-	7330
<b>Draft Cumberland LEP ID</b>	I249		
<b>Former LEP ID</b>	I105 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 3 Bennett Street, Wentworthville is locally significant for its historic and aesthetic values. Although built c.1924 as a private residence, the building is historically significant as the first private community hospital in the area, previously known as Malabar Private Hospital. This hospital operated from the 1930s until 1946. The dwelling has some aesthetic significance as an intact Federation bungalow that, although modified, retains much of its original and significant fabric.

### Criteria Assessment

a) Historic	The item is historically significant as the first private community hospital in the area, known as Malabar Private Hospital, which operated from the 1930s until 1946.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has some aesthetic significance as an intact Federation bungalow that, although modified, retains much of its original and significant fabric.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

## Physical Description

The dwelling is a single storey L-shaped residence of weatherboard Federation style construction. It features a hipped roof clad in Colorbond sheeting with a gable roof bay extending towards the street. The gable end has a battened fibro sheeting and a decorative ventilator panel. A verandah extends around the front, eastern and western sides and has a low-pitched skillion form clad with Colorbond sheeting supported on pairs of timber posts on single skin painted brick piers with brick balustrade. It features a solid timber valance around its full perimeter and exposed timber rafters. The eastern side of the verandah has been infilled with battened fibre cement sheeting and has modern aluminium sliding windows, however the original timber work to the verandah appears to remain intact. It would appear the verandah was originally used as outdoor rooms for the hospital. The front facade features a timber and glass panelled door which appears to be original, with glazed side lights. It is flanked by a timber framed double hung window on either side, with deep profiled architraves. There is a flat roofed weatherboard extension at the rear of the property.

The dwelling features a deep setback and is positioned below the streetscape level with a grassed embankment along Bennett Street. The dwelling is also partially obscured by mature plantings of little heritage value. An unsealed driveway runs along the eastern side of the dwelling.

The condition of the building is good, although the roof sheeting is worn and there are some deteriorated timber panels on the ventilator at the gable end.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- The verandah supports appear to have been altered, and the brick piers added. The eastern section of the verandah has been enclosed with fibre cement sheeting and modern aluminium windows installed\*
- Flat roof weatherboard extension at the rear of the house
- The roof sheeting replaced c.1990s
- Dwelling divided into four flats on the interior\*

Although modified, the building retains its scale and form as well as original detailing along the verandah. The verandah infill is considered to be intrusive. The buildings integrity is considered to be moderate.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c.1924
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station slowly attracted residents to the area, and Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The urban growth and rise in population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

In 1917, the present site was transferred to Frederick Jenner. It is at this time that the name Bennett Street was first used. In 1924 the property was transferred to John Johnson. It seems that the house was constructed by this time as the Sands Directory lists Johnson as a resident from 1925. In 1930 the property was bought by May Thomas who was wife to the Post Master at Wentworthville. The building was once a private hospital, run by Miss A. Ricketts in the 1930's and called "Malabar Private Hospital". It is reputedly the area's original community hospital. From 1946 onwards, the property was sold several times before the current owners purchased it. It has since been divided into four flats and remains in use as private residential spaces.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- The verandah infill is considered to be intrusive and should be removed to reinstate the original verandah form.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Bungalow	I249
Heritage Study	Federation Bungalow	I249
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of front elevation from entry gate.



View along eastern (side) elevation, showing landscaping and unsealed driveway.



View of verandah from the street.

## Heritage Inventory Sheet

<b>Item Name</b>	"Yoorooga", late Victorian cottage		
<b>Recommended Name</b>	'Yoorooga' - Late Victorian Cottage		
<b>Site Image</b>			
<b>Address</b>	54 Bridge Road, Westmead NSW 2145		
<b>Lot/Section/DP</b>	1	-	418951
<b>Draft Cumberland LEP ID</b>	I250		
<b>Former LEP ID</b>	I107 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	September 2019		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

“Yoorrooga” is of local significance for its historic and aesthetic values. Although the exact date for construction is unknown, the dwelling was likely built between 1876-1900, possibly as a residence associated with the Fullagar Estate. The dwelling may be one of the earliest remaining houses located on Bridge Road, which was an early road established as part of the first subdivision of the Government Domain in 1859-61. Resources also suggest that the dwelling may have also been constructed as the city residence of a former Mayor of Dubbo. Although modified, the dwelling retains aesthetic significance in its external detailing and, situated on a prominent street corner, makes a notable contribution to the character of Bridge Road generally.

## Criteria Assessment

a) Historic	Although the exact date for construction is unknown, the dwelling was likely built between 1876-1900, possibly as a residence associated with the Fullagar Estate. The dwelling may be one of the earliest remaining houses located on Bridge Road, which was an early road established as part of the first subdivision of the Government Domain in 1859-61. Resources also suggest that the dwelling may have also been constructed as the city residence of a former Mayor of Dubbo.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	Although modified, the dwelling retains aesthetic significance in its external detailing and, situated on a prominent street corner, makes a notable contribution to the character of Bridge Road generally.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.

f) Rarity	The item does not meet this criterion.
g) Representativeness	Due to a series of alterations, the item does not meet this criterion..

### Physical Description

The item is a large sandstock brick house, with walls set in a flemish bond pattern on a sandstone base. The roof features a steep hipped roof clad in concrete tiles and two face brick chimneys on either side with their terracotta chimney pots. An early weatherboard extension at the southeast corner of the dwelling features a hipped roof that extends from the main roof and is clad in the same tiles. The verandah extends from the main roof along the northern and eastern sides of the dwelling and is supported by cast iron posts. The verandah features a raked ceiling, exposed timber rafters, fibro cladding, and a ceramic tiled floor. The front façade features a modern timber and glass panelled door in the centre with an aluminium security screen door, flanked either side by windows. The fanlight to door has the name "Yoorooga" etched on glass, as does the adjacent brass plaque. The windows on the northern and eastern elevations are timber framed double hung with segmental arched heads, sandstone sills and timber shutters. The weatherboard extension has a projecting bay with pairs of double hung multi-paned windows with profiled architraves. The second door is a later addition. The weatherboards along the eastern elevation are stained and painted brown.

A brick skillion at the rear appears to be original or very early and is constructed in similar sandstock bricks on a stone base with a corrugated iron roof. The large windows to the rear are not original. Later additions to the rear include a second smaller brick lean-to and a concrete platform and ramp. A driveway along the western boundary leads to a fibro double garage.

The dwelling is located on a large corner block and forms a prominent element in the streetscape. The building features a deep setback and a highly vegetated landscape at the southeast corner of the property, as well as along the northern and western elevations. There is no boundary fence, though the site had a timber picket fence followed by a brick boundary fence, both of which have been removed. An established conifer and various other mature plantings remain.

Overall, the condition of the building is considered to be poor. The building appears to have substantial water issues with high vegetation growth over the roof and chimney, and no guttering. There are sections of exposed brickwork that are weathered, with some bricks badly eroded. Paint is severely flaking from the southern wall of weatherboard extension, and there is some cracking and flaking of paint to timberwork of windows and verandah elements.

<b>Condition</b>	Good	Fair	<b>Poor</b>
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### Alterations and Additions

- Weatherboard extension at the south eastern corner is early, dating from approximately 1930s
- Roof has been retiled with concrete tiles\*
- Corrugated iron sheeting to bullnose verandah has been replaced with concrete tiles\*
- Verandah floor covered with ceramic tiles
- Some windows have been reglazed with concave glass sections
- Window and door openings at rear have been reconfigured and enlarged
- Early or original timber picket fence removed (see historic image below). A later brick boundary fence was also subsequently removed (see historic image below).

The recladding of the roof and verandah has altered the overall form of the building and is an unsympathetic addition. The integrity of the item is considered to be moderate as the dwelling, although modified, retains most of its original fabric.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1876-1900 – exact date unknown
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, and appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject area is originally part of the 1065 acre Government Domain which came to form part of land acquired by William Fullagar in 1859. By the 1870s Fullagar was one of the major landholders in the district. The lots he acquired in 1859-61 were during the sale of an extensive portion of the Government Domain (by the 1850s 'Parramatta Park') and Fullagar owned much of present-day Wentworthville.

In 1913 approximately 89 acres along the western side of Bridge Road were purchased by Charles Veron, a grazier of the area, and subdivided in 1914 to form Hudson Road. Over 1 acre comprising 6 lots along Bridge Road were purchased by Florence Beater at this time. Between 1916-26 George Graham is listed in the Sands at the property. The property was purchased by Joseph Rutter in 1926, who appears in the Sands Directory from 1927 at 'Yarooga'.

Although its construction date is unknown, its architectural style suggests it dates prior to 1914, possibly as an early residence associated with the Fullagar Estate from 1876. The house was reputedly constructed as the city residence of a former Mayor of Dubbo and was also known as 'Kinross' for a short time. A number of properties are listed on Bridge Road prior to 1914, and it is difficult to determine which one is the subject property. The land at the rear reputedly formed a market garden which remained until the 1950s. The land was slow to subdivide from 1913 onwards. The dwelling remains in use as a private residence.

## Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X

3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.	X		

Other recommendations and/or comments:

- To protect the building from further damage, the dwelling requires work to remediate the vegetation overgrowth on the roof and chimney, as well as the water ingress issues.
- Should the opportunity arise, it is recommended the roof and verandah be reinstated to its former materiality (corrugated iron) and form (a bullnose verandah). Refer to historic images below.
- Should opportunity arise, the original timber picket fence should be reinstated along the boundary of the item. Refer to historic images below.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Yoorooga”, Late Victorian Cottage	I250
Heritage Study	“Yoorooga”, Late Victorian Cottage	I250
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



View of side (northern) elevation from Hudson Street.



Overview of dwelling from corner of Hudson Street and Bridge Road.



Detail of front landscape setting with southern section of front façade in the background.



View of driveway and modern shed at the rear.



View of mature plantings along Bridge Road.



Detail of vegetation growth to chimney and roof.



Image of subject site, c.1935 (Source: Flickr, Holroyd City Library).

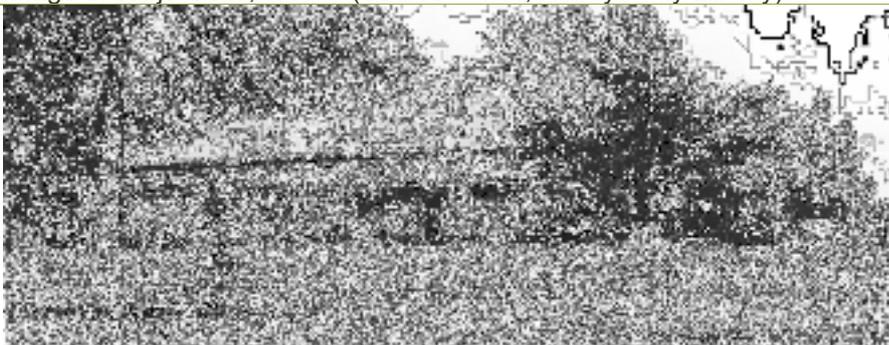


Image of subject site, date unknown (Source: Elias, J and Coppins, S 2013, Pictorial History Holroyd, p. 47).

## Heritage Inventory Sheet

<b>Item Name</b>	Former Post Office, circa 1926		
<b>Recommended Name</b>	Former Wentworthville Post Office		
<b>Site Image</b>			
<b>Address</b>	63 Dunmore Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	8-9	-	9296
<b>Draft Cumberland LEP ID</b>	I251		
<b>Former LEP ID</b>	I108 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Postal/Telecommunications	

## Curtilage Map



## Statement of Significance

The Former Wentworthville Post Office has local historic and social significance as one of the suburb's early, purpose-built post offices. Located in Wentworthville's main commercial centre, this building provides evidence of the notable growth of population and associated development of civic infrastructure which occurred in the area in the inter-war period. The building also has local aesthetic significance as a modest but relatively intact example of intact Inter-War Georgian Revival vernacular and is a notable landmark in the commercial centre, which has lost much of its early historic fabric.

## Criteria Assessment

a) Historic	The item has historical significance as one of the suburb's early purpose-built post offices, evidence of the historical growth of the suburb and of civic infrastructure.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance as an example of Inter-War Georgian Revival architecture in a highly developed streetscape.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of local civic infrastructure in areas of interwar population growth.

## Physical Description

The site consists of a single-storey brick building with hipped terracotta-tiled roof, and an asymmetric, single-fronted principle elevation. There is a single brick chimney with terracotta cowl in the northeast corner of the building. The corners of the building have brick quoin courses. There is a rendered profiled skirting around the base of the building. There are three double-hung sash timber windows, with six-pane top sashed. Steel grilles have been fitted to the brickwork in front of each window. The entry porch is a recessed tiled foyer framed by “classical” tapered rendered columns. There is a steel mesh roller screen to the entry porch. The sides and rear of the building are generally intact, with modern steel window grilles, air conditioner condenser units, and a small lightweight steel awning over the rear windows.

The property is enclosed with a steel cyclone mesh fencing. There appears to be a small single-storey shed structure in the northwest corner of the property and a modern concrete carpark. The building is situated close to the street with a paved footpath to the front and one mature tree.

Overall the building is in a good condition.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Timber-framed fibro wall divider blocking narrow passage between item and adjacent building at 63-65 Dunmore Street\*
- Small shed structure in northeast corner of property
- Window grilles to all elevations
- Roller mesh screen to entrance foyer\*
- Air conditioner condenser units to west elevation\*
- Lightweight steel awning over rear elevation northwest windows\*

The building maintains its general form and structure however, there have been a number modifications and additions to the building that are not sympathetic to the heritage values of the building, such as the roller mesh screen to entrance foyer. Overall the building is of moderate integrity.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c. 1926
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In 1819, after European settlement, the Wentworthville area came under the tenure of D’Arcy Wentworth. In accordance with normal custom, Wentworth’s salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith’s Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth’s holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The first post office servicing the area was opened in the 1890s at Wentworthville Railway Station until this purpose-built office was built in the mid-1920s to accommodate the growing community. This building served its function until the larger post office building adjacent was built in the 1960s.

The building is currently unoccupied.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations. X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).		
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, the large tree in front of the item should be trimmed as it is obscuring views of the item and may be depositing litter into roof drainage.
- Explore potential for adaptive reuse of this building in order to maintain its continued use within the community.

Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Former Post Office, circa 1926	I251
Heritage Study	Former Post Office, circa 1926	I251
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ. 1967. *Wentworth, D'Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014. *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

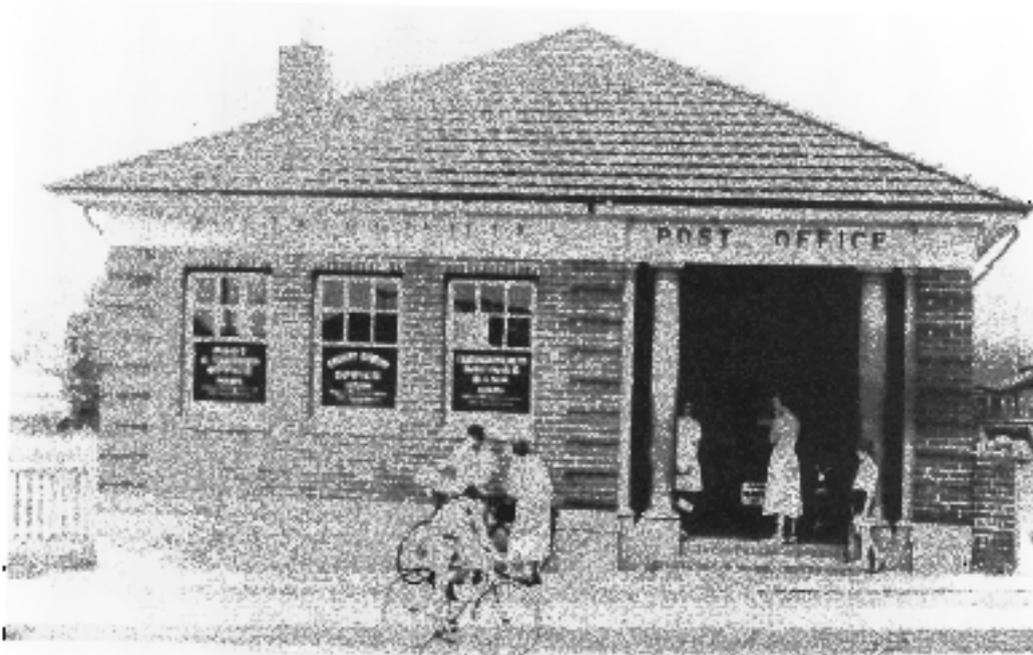
### Additional Images



View to rear of post office



Detail of brick quoin coursed to corners of building.



Wentworthville Post Office, date unknown (Source: Elias, J and Coppins, S 2013. Pictorial History Holroyd. Kingsclear Books, Alexandria, p. 45 ; Commonwealth Bank Archives).

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## Heritage Inventory Sheet

<b>Item Name</b>	Inter-War Bungalow		
<b>Recommended Name</b>	Fullagar Road War Service Homes Group		
<b>Site Image</b>			
<b>Address</b>	6 – 26, 30-32 & 38 Fullagar Road, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	54-45, 44a, 43-42	-	10054
	1	-	1205855
<b>Draft Cumberland LEP ID</b>	I252		
<b>Former LEP ID</b>	I110, I112, I113, I114, I115, I116, I117, I118, I119, I120, I121, I122, I123 and I124 (Holroyd LEP),		
<b>Heritage Conservation Area</b>	Included, Fullagar Road Conservation Area		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



Revised curtilage recommended – refer below

## Statement of Significance

The Fullagar Road War Service Homes Group is of local, and potential State significance for its historic, aesthetic, social and representativeness values. The fourteen houses are historically associated with a post World War I Commonwealth government initiative, under the *War Services Act 1919*, to provide affordable housing for returned servicemen and their families. The War Service Homes Act was one Commonwealth policy of rehabilitating ex-servicemen and their dependants. Built in 1920, the Fullagar Road War Service Homes Group forms one of the earliest War Service Homes estates built in Western Sydney by the War Services Homes Commission. Collectively, the group forms a visually cohesive and aesthetically significant collection of Inter-War style dwellings that illustrate the use of standardised designs prepared by the Commission. The Group provides evidence of the architectural attitudes to housing service personnel in the years immediately following World War I. The Group is a large and intact representative example of Inter-War service homes in Western Sydney. The group is also socially significant to the local community and commemorates the local veterans that occupied the houses, providing a vital contextual link to the local community of Wentworthville and World War I.

## Criteria Assessment

a) Historic	Built in c.1920, the group forms one of the earliest War Service Homes estates built in Western Sydney by the War Services Homes Commission. The houses are historically associated with a post World War I Commonwealth government initiative, under the <i>War Services Act 1919</i> , to provide affordable housing for returned servicemen and their families. The War Service Homes Act was one Commonwealth policy of rehabilitating ex-servicemen and their dependants.
b) Associative	The group is associated with the War Services Homes Commission.

c) Aesthetic/Technical	Built in 1920, the Fullagar Road War Service Homes Group forms one of the earliest War Service Homes estates built in Western Sydney by the War Services Homes Commission. Collectively, the group forms a visually cohesive and aesthetically significant collection of Inter-War style dwellings that illustrate the use of standardised designs prepared by the Commission. The Group provides evidence of the architectural attitudes to housing service personnel in the years immediately following World War I.
d) Social	The group is socially significant to the local community and commemorates the local veterans that occupied the houses, providing a vital contextual link to the local community of Wentworthville and World War I.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The Group is a large and intact representative example of Inter-War service homes in Western Sydney.

### Physical Description

The War Service Homes Group consists of a group of fourteen 1920 Inter-War Bungalows of two distinct styles; rendered or face brick with classical style details, or face brick with Federation style details. The majority of the group contain deep setbacks along the Fullagar Road frontage and retain their original subdivision boundaries, excluding No.38 which has been subdivided to include a contemporary residence at the rear of the property known as No.38A.

#### No.6

The dwelling at 6 Fullagar Road is an L-shaped Inter-War bungalow with rendered brick walls on a face brick base with a hipped roof clad with terracotta tiles. The roof features wide eaves, exposed timber rafters and a rendered brick chimney. Windows are generally multi-paned timber casement, located individually or grouped in pairs, and have painted brick sills. The projecting bay to the street features a group of three casement windows. The front entrance has been modified and is a single modern timber panelled door with aluminium security grill. A verandah extends along the front façade, containing a pair of rendered classical style columns with simple capitols and bases. The verandah retains its original metal sheeting and has a pebblecrete floor. French doors on the eastern elevation that have been removed, and original casement windows on the western elevation have been replaced with aluminium sliding windows. A rear skillion roof extension extends along the entire facade and has rendered brick walls supported on open brick piers, similar roof tiles and timber awning windows.

A driveway is located along the western boundary and leads to a small fibro garage at the rear of the property. A concrete path zig zags across the front lawn to the verandah. A low timber paling fence extends along the Fullagar Road boundary.

The item is situated on a large block of land that slopes down from the Northeast corner to the southwest and retains its original subdivision boundaries. The dwelling features a deep setback that contains some plantings along the dwelling's boundary.

#### No.8

The dwelling at 8 Fullagar Road is a single storey face brick Inter-War bungalow. The dwelling features a single hipped roof clad in terracotta tiles with a wide hipped verandah at the front, which is an extension of the main roof at a lower pitch. There are no chimneys evident. The originally exposed rafters have been enclosed in fibro boxed eaves and the verandah is supported on four rendered classical style columns, with a concrete floor. The dwellings front façade is symmetrical with a central entrance, modern timber and glass panelled door with an aluminium security screen, and a timber framed multi-paned casement window either side of the door. All window openings have painted concrete lintels and bullnose profile brick sills.

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A sympathetic addition at the rear has a similar face brick wall with timber casement windows. The rear addition is an extension of the main roof and features a skillion verandah around the rear southeast corner. The allotment features a driveway on the western side leads to a small hipped garage of face brick and terracotta tiles.

The item is situated on a large block that has retained its original subdivision boundaries. The dwelling features a deep setback and some established plantings in the front yard.

#### **No.10**

The dwelling at 10 Fullagar Road is a single storey Inter-War bungalow with rendered brick painted in light blue. The dwelling features a hipped roof with a pair of hipped bays projecting to the street. The roof is clad in terracotta tiles and features a gas heater penetration through the roof. A central flat roofed verandah extends from the hipped bay and is supported on a pair of rendered classical style columns. The verandah has retained the original metal sheeting and has a tile floor, replacing a pebblecrete floor. A central door is fronted by a modern aluminium security screen. Each hipped bay features a pair of timber framed casement windows. The window openings feature painted bullnose brick sills, and have small fixed awnings above, which are a later addition.

A rear extension has similar rendered brick walls and has been incorporated under the main roof. The extension has similar casement windows which are possibly original windows that have been reused. A pair of multi-paned casement French doors to the east open onto a small enclosed porch and have a fixed metal awning above in a similar style.

There are overgrown plantings to the street boundary and a bricked driveway along the eastern boundary, replacing an earlier concrete driveway. A large tree appears to have removed from the front eastern corner of the property.

#### **No.12**

The dwelling at 12 Fullagar Road is a single storey Inter-War bungalow constructed of face brick with classical details. The dwelling has a single hipped roof clad in terracotta tiles and exposed rafters. A wide hipped verandah is situated at the front and is an extension of the main roof, although at a lower pitch. The verandah is supported by four rendered classical style column and features a tiled floor. There is a single painted brick chimney on the western side. The symmetrical facade has a central door with security screen and pairs of timber framed multi-paned casement windows on either side. The window openings feature concrete lintels and bullnose profile brick sills. A rear skillion roofed addition is clad in fibro sheeting with aluminium window frames and a verandah are later additions.

#### **No.14**

The dwelling at 14 Fullagar Road is a single storey Inter-War bungalow constructed of face brick with classical details. The dwelling features a large gabled roof with a hipped projection to the street. The roof features terracotta tiles, wide timber boarded eaves, timber brackets, exposed rafters and has a single face brick chimney on the eastern side. The gable ends have timber weatherboards. The verandah is recessed under the main gable, which extends in front of the hipped bay, and is supported on two pairs of timber columnettes on high face brick piers, with a partially infilled brick balustrade. The windows are timber framed multi-paned casement windows with rendered heads and sills. The hipped bay features an off-centre window pair. The front door is a single timber panelled door with multi-paned (9) top panel and modern aluminium security grille. A driveway is located along the eastern boundary and leads to an early fibro and timber garage with a flat roof. The property is bounded along Fullagar Road with a timber picket fence.

The item is situated on a large block that has retained its original subdivision boundaries. The dwelling features a deep setback with some non-significant plantings in the front garden.

#### **No.16**

The dwelling at 16 Fullagar Road is a single storey Inter-War bungalow constructed of face brick with classical details. The dwelling features a recessed front verandah beneath a gable roof with a hipped projection to the street. The main roof features terracotta tiles, a centrally located face brick chimney and gable ends that are finished with weatherboards. The main roof extends to cover the verandah

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and is supported on paired timber columns with lattice detailing on brick columns. The facades feature multi-paned timber casement windows with painted cement heads and bullnose brick sills. The front door features glazed panels. The main roof also extends over a rear section that features some fibro cement cladding.

The item is situated on a large block that has retained its original subdivision boundaries. The house is bounded by a wire fence and gate, with an established hedge along the fence. A large gravel driveway is located along the eastern boundary. The front garden is highly modified and does not contain any significant plantings.

#### **No.18**

The dwelling at 18 Fullagar Road is a single storey Inter-War bungalow constructed of rendered brick with classical details. The dwelling features a hipped roof clad in terracotta tiles and a wide hipped verandah at the front. The roof retains the original rendered brick chimney on the western side. The verandah roof is an extension of the main roof, although at a lower pitch, and is supported by four rendered classical style columns on a concrete floor. The originally exposed rafters have been enclosed in fibro boxed eaves, and the guttering has been replaced with modern Colorbond. The façade is symmetrical with a central timber panelled front door with an aluminium framed security screen, and a later side light. The window openings on either side have square brick sills and aluminium framed security blinds. Matching blinds have been installed to all openings.

The dwelling features a rear rendered brick extension with a hipped roof of similar terracotta tiles that continues past the eastern building alignment. A Colorbond carport has been added at the rear of the property to the southeast and large concrete stencilled driveway along the western boundary leads to a rendered brick garage adjacent to the house.

The item is situated on a large block that has retained its original subdivision boundaries and contains an established garden setting.

#### **No.20**

The dwelling at 20 Fullagar Road is a single storey Inter-War bungalow constructed of rendered brick with classical details. The dwelling features a hipped roof with two hipped bays projecting to the street clad in concrete tiles. The roof retains the original rendered chimney on the western side. A flat roofed verandah is centrally located between the two projecting hip bays and is supported by two pairs of rendered classical style columns. The verandah has retained the original metal sheeting roof and contains a pebblecrete floor. Within the verandah is a centrally located recessed double door front by an aluminium fly screen. Each hipped bay features a pair of timber framed casement windows located off centre to the bay, with painted brick sills and non-original timber shutters.

A building contains a rear flat roofed extension and a garage conversion to a granny flat at the southeast of the property. A driveway along the eastern boundary swings in front of the house. The property retains its original boundaries and contains an early decorative concrete fence to the street boundary. The front landscape appears to be well-maintained.

#### **No.22**

The dwelling at 22 Fullagar Road is a single storey face brick Inter-War bungalow with classical details. The bungalow has a hipped roof clad in terracotta tiles, with a wide hipped verandah extending from the main roof with a lower pitch. The verandah roof is supported by four rendered classical style columns and features exposed rafters. There is a single face brick chimney on the western side. The symmetrical facade features a modern central timber and glass panelled door with aluminium security screen, and pairs of timber framed multi-paned casement windows on either side. The window openings have painted concrete lintels and bullnose profile brick sills. A plaque adjacent to the main entrance is inscribed "Rosewood Cottage".

The building is not presently used as a single house, but rather, an aged care centre. Due to the changed use this building presents more modifications than the others. There is a large weatherboard extension at the rear with a hipped roof of corrugated iron, and a face brick base, and a large yard has been largely developed for carparking. A concrete ramp extends along the western elevation of the

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building to the extension at the rear. The property is bounded by modern looptop fencing. Although modified the item retains a mature tree in the front yard and other established plantings.

#### **No.24**

The dwelling at 24 Fullagar Road is a single storey rendered brick L-shaped Inter-War bungalow with classical details. The bungalow has a hipped roof clad in concrete tiles with wide eaves, exposed timber rafters, and a face brick chimney. The projecting hipped bay to the street features a group of three timber framed multipaned casement windows. The windows are generally multi-paned timber casement located individually or grouped in pairs. Windows have painted brick sills.

The verandah extends along the front façade, is flat roofed and clad in its original metal sheeting. The roof is supported on two pairs of rendered Doric columns with simple capitols and bases. The verandah retains a timber panelled ceiling and has a pebblecrete floor. A single timber and glass panelled door with metal fly screen forms the front entrance and a pair of multi-paned timber French doors are located on the western facade.

The dwelling features a large skillion roof extension along the entire rear facade projecting past both side facades. This addition is constructed of fibro and concrete tile construction with timber casement and aluminium sliding windows. A fibro garage to the east of the house is of a similar age, with similar timber windows and gabled roof of Colorbond sheeting. A small timber porch spans between the garage and the verandah with a flat roof.

The property retains its original subdivision boundaries and the landscape contains several mature trees at the rear and along the low concrete block fence to the street boundary.

#### **No.26**

The dwelling at 26 Fullagar Road is a single storey rendered brick L-shaped Inter-War bungalow with classical details. The bungalow has a hipped roof clad in terracotta tiles with rendered brick walls on a painted brick base. The roof features wide eaves, exposed timber rafters, and a rendered brick chimney with a pair of terracotta chimney pots. The windows are generally multi-paned timber casement located individually or grouped in pairs. The projecting hip to the street has a group of three such windows. Windows have painted brick sills. The corner entrance has been modified to form a single standard width door and narrow side light, both with modern aluminium security screens. The splayed verandah is supported by two pairs of rendered Doric columns with simple capitols and bases. The verandah roof features modern klip lok roof sheeting and a pebblecrete floor. A painted brick veneer extension extends along the entire rear facade and has sliding aluminium windows.

A concrete driveway extends along the western boundary and leads to a small gabled fibro garage adjacent to the house. A large backyard has two tall trees and a number of small sheds. There is a low timber and wire mesh fence to the street boundary. The property retains its original subdivision boundaries.

#### **No.30**

The dwelling at 30 Fullagar Road is a single storey rendered brick L-shaped Inter-War bungalow with classical details. The bungalow features a hipped roof with a projecting gable clad in terracotta tiles and rendered brick walls on a face brick base. The roof has wide eaves, exposed timber rafters, a rendered brick chimney with a single terracotta chimney pot, and new guttering. The windows are generally multi-paned timber casement located individually or grouped in pairs and have painted brick sills. The projecting gable features a group of three such windows. The windows have been stripped of paint as part of the present renovation works. The corner entrance has retained the original narrow timber framed multi-paned double doors. The splayed verandah is supported by two pairs of rendered Doric columns with simple capitols and bases. The verandah retains the original flat roof clad with metal roof sheeting and terracotta tiled floor. A single mature frangipani flanks the entrance. The western facade has a pair of multi-paned timber French doors. Severe cracking on the western wall above window openings is possibly caused by differential movement.

A driveway along the eastern boundary leads to a large rear yard with several mature trees. In particular, the size of the frangipani tree and its located near the dwelling entrance indicates that it is

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likely to relate to the construction of the dwelling (as seen at 32 and 38). The property is bounded along Fullagar Road by a low timber paling fence with several mature trees lining along the fence. The dwelling does not contain a rear extension retaining its original form and subdivision boundaries.

### **No.32**

The dwelling at 32 Fullagar Road is a single storey rendered brick L-shaped Inter-War bungalow with classical details. The bungalow features a hipped roof clad in terracotta tiles and rendered brick walls on a painted brick base. The roof features wide eaves, exposed timber rafters, a rendered brick chimney, and a pair of terracotta chimney pots. The window openings contain modern aluminium sliding windows that have replaced the original timber casement, they have however retained the multi-paned detail and general individual or paired groupings. The original narrow multi-paned timber double doors to the corner entrance are behind a modern aluminium security screen. The splayed verandah is supported by two pairs of rendered classical Doric columns with simple capitols and bases. The verandah roof retains a flat roof and is clad in modern Klip Lok roof sheeting. It also features a raised concrete verandah floor and steps. The eastern facade features a pair of multi-paned timber French doors.

The dwelling contains a rear rendered brick skillion addition. A driveway located along the western boundary leads to a modern double garage at the rear of the property, fronted by a flat roof carport. The property appears to retain its original subdivision boundaries. The garden landscaping of the front yard features some established plantings along its boundary however is minimally landscape. In particular, the size of the frangipani tree and its located near the dwelling entrance indicates that it is likely to relate to the construction of the dwelling (as seen at 30 and 38).

### **No.38**

The dwelling at 38 Fullagar Road is a single storey rendered brick L-shaped Inter-War bungalow with classical details. The bungalow features a hipped roof clad with terracotta tiles on rendered brick walls with a painted brick base. The roof has wide eaves, exposed timber rafters, and a rendered brick chimney with a pair of terracotta chimney pots. Windows are generally multi-paned timber casement located individually or grouped in pairs and have painted brick sills. The projecting bay to the street features a group of three such windows. The corner entrance has been modified and is hidden behind a modern aluminium security screen. The splayed verandah is supported by two pairs of rendered classical style columns with simple capitols and bases. The roof features a flat roof clad with sheet metal and a tiled floor. The western facade features a pair of multi-paned timber French doors.

The rear of the property features a large skillion extension that extends along the entire rear facade and is of fibro construction with aluminium sliding windows. A second smaller skillion extension extends past the western facade. A driveway on the east leads to a small fibro garage at the rear. The garage has a low skillion roof and timber panelled double doors. A concrete block fence with a steel balustrade infill is along the street boundary.

The property contains a modified front landscape that appears to be below street level and contains a new drainage line. The landscape consists of contemporary elements except for two frangipani trees. The size of the frangipani trees and their location near the dwelling entrance indicates that they likely to relate to the construction of the dwelling (as seen at 30 and 32). The property retains the deep setback, but not the original subdivision allotment.

The allotment has been subdivided and has a contemporary residence at the rear of 38 Fullagar Road.

### **Condition**

Overall the group is well maintained, and their condition is generally known to be good. There is some deteriorated timberwork and fencing elements that require repair work.

<b>Condition</b>	<b>Good</b>	<b>Fair</b>	<b>Poor</b>
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## Alterations and Additions

### No.6

- Front door and single aluminium sliding window have been installed in the original casement window opening on the western elevation\*
- French doors on the eastern elevation have been partially infilled to form a window\*
- Garage constructed 1969

### No.8

- Extension at the rear, including the rear skillion verandah which was constructed between 1990-1992 and a pergola which was constructed in 1992

### No.10

- A large extension to the rear appears to have reused the original casement windows and doors
- Garage was constructed in 1963
- Granny flat constructed in 1993

### No.12

- Rear skillion extension and verandah

### No.14

- Fibro cladding to eaves
- Verandah balustrade infilled\*
- New door at the rear
- Garage construction in 1967

### No.16

- Modified landscaping
- Removal of some screen accretions to the verandah

### No.18

- New concrete driveway
- Rear extensions built in 1977 and 1987
- Inclusion of security roller blinds\*
- Carport constructed in 1993

### No.20

- Inclusion of timber shutters to the front windows
- New paint scheme
- Pool constructed at the rear of the property

### No.22

- The building was extensively modified for its adaptive reuse as an aged care facility in 1996
- A large weatherboard extension and concrete carpark has been provided at the rear
- New guttering has been installed
- A concrete ramp extends along the western elevation of the building\*
- Modern looptop fencing\*

### No.24

- New paint scheme
- Rear skillion addition constructed in 1958
- Garage constructed in 1955
- Roof retiled with concrete tiles c1980s\*
- Flat roof connecting verandah to garage

### No.26

- New paint scheme

### No.30

- Timber to windows have been paint stripped
- Single chimney pot removed\*
- Guttering has been replaced

### No.32

- Replacement of timber casement windows with aluminium sliding windows featuring similar multi-paned detail and grouping\*
- Possible new paint scheme
- Rear extension constructed in 1972, and the second extension in 1990
- Garage built in 1977

### No.38

- Original allotment subdivided\*

- New contemporary dwelling constructed to the rear of the property\*
- New landscaping to the front yard including drainage
- New fence\*
- New paint scheme
- New guttering installed

Collectively, the group is considered to have high integrity. Although some dwellings have had some modifications, they have been sympathetic in nature and do not detract from the significance of the item. With the exception of No. 22, the group is largely intact.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	1919-1923
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property formed part of the 1065-acre Government Domain that was subdivided into a mix of 20 acre and 50 acre allotments. In 1859, William Fullagar purchased over 37 acres between Fullagar Road, the Great Western Highway, Toongabbie Creek and Bridge Road. Fullagar purchased extensive tracts in the present-day Westmead and Wentworthville at this time.

In 1920, the land along Fullagar Road was subdivided and purchased by the War Service Homes Commission. The War Services Homes Commission was a Commonwealth government initiative established under the *War Services Act* 1919 to assist the rehousing of returned soldiers and their families. The Commission aided veterans through low interest rate loans to construct a new house, purchase or complete an existing house, or discharge an existing mortgage. The focus of the Commission during the first two years was focused on the construction of new houses, a measure "designed to help solve, and not accentuate the national housing problem". The houses built by the Commission were to a standard design under the direction of their principal architect.

By 1923, the collection of bungalows along Fullagar Road had been completed. The houses constructed by the Commission had a distinct style based on Colonial Revival and Californian Bungalow designs. The sudden increase in settlement along Fullagar Road during the 1920s is illustrated in the Sands Directory.

A number of the properties were individually purchased throughout the 1940s and 1950s. A summary of purchases is listed below:

- The property at No.6 was individually purchased by William Keary in 1947.
- A commemorative plaque notes the Anzac Residents of 8 Fullagar Road included Thomas Henry Walmsley (1921), Robert Colin Tinker (1927) and Alfred Weller (1928).
- The property at No.6 was individually purchased by Lionel Anthes in 1951.
- The property at No.12 was individually purchased by Victor Fear in 1942. However, the commemorative plaque notes the Anzac Resident of 12 Fullagar Road was John Patrick Golding (1924-1926).

- The property at No.14 was individually purchased by William Kelly in 1949.
- The Sands Directory notes that Clyde Johnstone Young occupied the property at No.16. This is also noted on the commemorative plaque fronting the dwelling. In 1976, the property was transferred to Young's widow.
- The property at No.18 was individually purchased by James Sutton in 1951. Sutton was in living in the residence from 1926.
- The property at No.20 was individually purchased by James Arkins in 1949.
- The property at No.22 was individually purchased by Caradog Davies in 1942. The dwelling is currently occupied by a community health centre, known as Rosewood Cottage. Rosewood Cottage provides aged respite to people from English and Arabic speaking backgrounds.
- The property at No.24 was individually purchased by Frank Palister in 1958, who also purchased other properties on Fullagar Road at this time. The commemorative plaque notes Roland Bernard Elliot was the Anzac resident living at the property from 1925.
- The property at No.26 was individually purchased by Bessie More in 1949.
- The property at No.30 was individually purchased by Frank Pallister in 1958.
- The property at No.32 was individually purchased by Reinne Herbert in 1959. The commemorative plaque notes the Anzac Resident of No.32 was Luke Sanders Deviland from 1922 to 1923.
- The property at No. 38 was individually purchased by Frederick Bridges in 1951.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.	X	7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.	X
4. Consider additional research to nominate this item for the State Heritage Register.	X	9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

		<p><b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.</p>		
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Other recommendations and/or comments:

- The dwellings should be further researched and considered for State Heritage Register nomination. As a set, the dwellings form one of the earliest War Service Homes estates built in Western Sydney by the War Services Homes Commission. Collectively, the group forms a visually cohesive and aesthetically significant collection of Inter-War style dwellings that illustrate the use of standardised designs prepared by the Commission.
- As the dwellings are best identified as a group, the heritage curtilage shown below should be considered as a revised curtilage for the Cumberland LEP. This will negate the need for individual listings and listing sheets, allowing the items to be managed equally. This group listing will be coupled with the Fullagar Road Heritage Conservation Area, which we note will be revised to cover the street trees, footpath, bronze plaques, streetscape and setting directly in front of the building is conserved.



Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-War Bungalow	I252
Heritage Study	Inter-War Bungalow	I252
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967. 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- Commonwealth Department of Housing 1969. *War Services Homes Jubilee 1919-1969*. Canberra: Government Printing Office.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



No. 6 Fullagar Road.



No. 8 Fullagar Road.



No. 10 Fullagar Road.



No. 12 Fullagar Road.



No. 14 Fullagar Road.



No. 16 Fullagar Road.



No. 18 Fullagar Road.



No. 20 Fullagar Road.



No. 22 Fullagar Road.



No. 24 Fullagar Road.



No. 26 Fullagar Road.



No. 30 Fullagar Road.



No. 32 Fullagar Road.



No. 38 Fullagar Road.



Image of a War Service Home on Fullagar Road, date unknown (Source: Elias, J and Coppins, S 2013. *Pictorial History Holroyd*. Kingsclear Books, Alexandria, p. 72; Holroyd City Council).

## Heritage Inventory Sheet

<b>Item Name</b>	Late Victorian Cottage		
<b>Recommended Name</b>	Late Victorian Cottage		
<b>Site Image</b>			
<b>Address</b>	7 Fullagar Road, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	239	-	7383
<b>Draft Cumberland LEP ID</b>	I253		
<b>Former LEP ID</b>	I111 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 7 Fullagar Road, Wentworthville is of local significance for its historic and aesthetic values. The item has some historic significance for its location on the former original Government Domain, first subdivided 1859-61 and acquired and subdivided by William Fullagar. The cottage retains the original form, style and detailing of a relatively modest weatherboard cottage from the early 19th century. Although the building has been modified, it still retains its aesthetic significance as a modest late Victorian cottage which contributes positively to the streetscape as part of the historic building stock.

### Criteria Assessment

a) Historic	The item is located on the original Government Domain, first subdivided 1859-61 and acquired by William Fullagar.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The cottage retains the original form, style and detailing of a relatively modest weatherboard cottage from the early 19th century. Although the building has been modified, it still retains its aesthetic significance as a modest late Victorian cottage which contributes positively to the streetscape as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

## Physical Description

The item is a late Victorian cottage constructed of rusticated weatherboards, with a hipped roof of corrugated galvanised iron. The house is supported on open brick piers and the verandah on a face brick base. The roof also features the original face brick chimney with two terracotta chimney pots, new galvanised iron sheeting and recent Colorbond guttering. The bullnose verandah is reclad in corrugated galvanised iron and is supported on contemporary turned timber posts with a timber panel infilled balustrade. The timber posts have been stained, whereas the balustrade is painted white. The verandah features timber flooring and is entered by tiled stairs. The front façade is symmetrical with a central door and leadlight top light, as well as timber framed double hung windows on either side. All window openings feature profiled timber architraves and sills. The door is a modern timber panelled door with leadlight panel and a profiled timber architrave. The new window and door openings are also timber framed. The dwelling features a rear extension which has a corrugated iron hipped roof and fibro and weatherboard clad walls.

The house is located on a large block set above the street level. The front landscape features an established garden setting with a contemporary drywall retaining wall and timber slab retaining wall. The landscaping features several mature trees at the rear of the property, including a palm. A driveway extends along the western boundary.

The dwelling is well maintained and in good condition overall.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Roof sheeting and guttering replaced on main roof and verandah
- Verandah posts replaced with contemporary turned timber posts\*
- Contemporary landscaping and retaining walls
- Replaced timber architraves on door and windows
- Contemporary door

Although the building is highly modified having undergone a renovation in the early 1990s, the item respectfully retains its scale, form and some detailing. Unless otherwise advised above, alterations have been sympathetic in nature and respectfully replace fabric on a like for like basis to retain the buildings aesthetic.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1915
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property formed part of the 1065-acre Government Domain, which was primarily used for grazing, with some orchards and vineyards. Subdivision of this estate allowed existing owners to increase their holdings. The property formed part of land acquired by William Fullagar in 1859. Fullagar was the son of ex-convicts who opened the Star Inn near Ettalong Road and cattle yards in the Wentworth Estate in 1845. Fullagar acquired extensive tracts of land in the present-day area of Westmead and Wentworthville, particularly during the subdivision of the Government Domain.

In 1913 approximately 89 acres were purchased by Charles Veron, a grazier who subsequently subdivided his property in 1914. The subject property formed Lot 23 in Veron's 1914 subdivision and was purchased by James Rymer in 1915. Rymer was an engine fitter and is listed to have been in occupation of the property in the Sands Directory between 1917-33. The property was transferred to Ellen Rymer in 1934. An application for building works in 1997 was made for an addition to the dwelling, which is most likely the existing rear extension. The building remains in use as a private residence.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, sympathetic timber posts should be reinstated to the verandah.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Late Victorian Cottage	I253
Heritage Study	Late Victorian Cottage	I253
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967. 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora*. Kingsclear Books, Alexandria.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Dwelling and contemporary landscaping.



Detail view of the dwelling.

## Heritage Inventory Sheet

<b>Item Name</b>	Electricity Substation		
<b>Recommended Name</b>	Electricity Substation		
<b>Site Image</b>			
<b>Address</b>	62 Fullagar Road, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	-	-	SP 61875
<b>Draft Cumberland LEP ID</b>	I254		
<b>Former LEP ID</b>	I125 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Utilities - Electricity	

## Curtilage Map



**Revised curtilage recommended – refer below**

## Statement of Significance

The Electricity Substation at 62 Fullagar Road, Wentworthville is locally significant for its historic, technical and representative values. Built in 1928, illustrates the early twentieth century technology utilised in the generation and distribution of electricity supply in the area. This type of technology is now redundant; however, this substation is one of a small group of remaining intact industrial infrastructure items representing a specific function for the community. The item is an intact and representative example of the standardised electrical substations constructed in the 1920s.

### Criteria Assessment

a) Historic	The item illustrates the early twentieth century technology utilised in the generation and distribution of electricity supply in the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The substation illustrates the early twentieth century technology utilised in the generation and distribution of electricity supply in the area. This type of technology is no longer being used.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is an intact and representative example of the standardised electrical substations constructed in 1920s.

## Physical Description

The substation, at the corner of Fullagar Road and Lane Street, is a single storey brick building with a single wide opening on its principle façade to Fullagar Road. The principle façade features the original double wooden entrance door and rendered lintel with expressed brick piers. The building has a gabled roof clad in terracotta tiles with a timber barge board and rendered gable infill with "Electrical Supply 1928" in the gable end relief. The rear elevation and barge board on the principle elevation feature the former insulators, indicating how the structure was connected to the electrical grid. The window opening on the west elevation features a 4-pane, double-sash casement window with a brick sill and sandstone lintel. The window is fronted by a contemporary security grill.

The substation is set within a heavily developed area, with multi-storey residential developments encroaching the structure from most sides. A tall brick boundary fence, which relates to the residential development for "The Peninsula", now screens views of the building from the street.

The building appears to have been recently repainted and is in a good condition, however, there is an extensive amount of leaf litter deposited on the roof and in the guttering which is causing damp issues. The sandstone lintel shows signs of sandstone delamination.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Contemporary security grill to window on the west elevation
- Appears to have been repainted recently
- Addition of brick boundary fence in front of property\*
- Removal of transformer equipment from the former yard\*

Although the heritage curtilage of the item is heavily impacted by medium density development to the rear, the building itself retains a high level of integrity.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The Sydney Municipal Council's Electric Lighting Bill was passed in October 1896 and a power station was built in Pyrmont in 1900. Meanwhile, the NSW Railways and Tramways had commenced generating power at Ultimo in 1899. Both organisations quickly moved into supplying electrical power in bulk to local councils, for local reticulation. However, many local councils established municipal electrical supplies and Parramatta and Granville Electrical Supply Company commenced operation in 1913. It ceased generating for itself after 1917, taking bulk supply from the Sydney Municipal Council

via a substation at Merrylands. It later swapped to supply from the Railways and was purchased by the Electrical Light Power Supply Corporation (ELPSC) in the 1940s, with supply then provided from Balmain power station. In 1957, the ELPSC was acquired by the Electricity Commission of New South Wales.

In the eastern part of Cumberland, supply was generally acquired from the Sydney Municipal Council and several substations were constructed in Auburn, Lidcombe, Guildford, Wentworthville, Merrylands and Westmead to a standardised design.

These supply arrangements changed very little when the Electricity Commission was formed in 1950 and took control of all generation facilities and became the bulk supplier to county councils and municipalities. The supply from individual generation authorities ceased and supply was acquired from the NSW State electricity grid.

The former Holroyd local government commenced supplying electricity to its municipality in 1923. The local authority purchased its supply in bulk from the Sydney Municipal Council at 5.5kV. The substation located in Auburn (No. 167) was the former bulk supply receiving station. The number of substations constructed in the Sydney region increased dramatically from the late 1920s, with dozens of substations being constructed to cope with the expanding demand. While in the early years of network construction many substations had unique characteristics and were sited in response to demand. However, from the late 1920s onwards a standardised design was employed, and expansion was based on the need to establish and expand the electricity grid rather than in response to localised or site-specific issues.

The substation located on the corner of Fullagar Road and Lane Street Wentworthville is one of many built during this period to service the expanding population of the district and shares a similar design, size, and construction to other electrical substations provided in the former Holroyd municipality during the 1920s. The building has been decommissioned and is no longer in use.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development			

		(form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- As the land surrounding the electricity substation has been heavily redeveloped for the inclusion of a medium-density residential apartment blocks, the heritage curtilage shown below should be considered as a revised curtilage for the Cumberland LEP. Should the revised curtilage be adopted, this listing sheet does not reflect the current Lot/DP which will need to be altered.



### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Electricity Substation	I254
Heritage Study	Electricity Substation	I254
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.
- Pennington, J. 2012. Electricity Substations of the Sydney Municipal Council and other local authorities. Sydney: James Pennington

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Detail of gable end showing 'ELECTRICAL SUPPLY 1928' relief.



View along Fullagar Road from the substation, showing modern development adjacent to the building.



Overview of substation showing front and side elevations, as well as the boundary fence.



Rear elevation of substation and boundary fence.



Overview of substation from the footpath along Fullagar Road.

## Heritage Inventory Sheet

<b>Item Name</b>	Federation Arts and Crafts shop building		
<b>Recommended Name</b>	Federation Arts and Crafts Shop		
<b>Site Image</b>			
<b>Address</b>	17 Garfield Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	31A	-	305323
<b>Draft Cumberland LEP ID</b>	I255		
<b>Former LEP ID</b>	I126 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Retail	

## Curtilage Map



## Statement of Significance

The building at 17 Garfield Street, Wentworthville on the corner of Pritchard Street East, is locally significant as a good example of a corner shop building design typical on many suburban street corners in Sydney. The item has aesthetic significance as a typical Federation corner store in the Arts and Craft style. The building is quite intact and retains high integrity with most of its original fabric especially with regards to its façade presentation extant. While it currently operates well as a space for professional services, it no longer operates as a retail space as per its original function, and therefore is no longer a working example of its type.

### Criteria Assessment

a) Historic	The item has historical significance as a standard Federation style retail building that was common in the Sydney suburbs prior to the popularisation of shopping malls.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance as an example of a typical form of corner store architecture in the Federation Arts and Craft style, common in the suburbs.
d) Social	The item has social significance to Wentworthville in terms of how the community interacted with retailers and the exchange of goods prior to centralised shopping malls.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of local retail activities in suburban Sydney.

## Physical Description

The building is a single-storey Federation Arts and Crafts style corner shop located on the corner of Garfield Street and Pritchard Street East, Wentworthville. The building is divided into two sections, the front and street addressing section being the shopfront, and the residence in the rear. The building is a painted brick building with a prominent decorative parapet of raised brick with a rendered capping, spanning both street elevations. Behind the parapet is a corrugated steel gabled roof.

On the chamfered corner is the timber panelled entry door with spotswood glazing on the top panels. The door has an original terrazzo threshold. Above the door is a large "17" in relief. The windows to the side facades of the chamfer have large oversize timber-framed fixed windows. There is timber boarding over the top sections of the door and windows where there would have been three-pane top lights with coloured panes. It is uncertain whether these top lights are still in place. Above the windows and wrapping around the corner facades is evidence of a former awning, which has now been removed. There is a skillion-roofed extension to the shop, which meets the gable-roofed residence in the rear. A former opening to the residence on Pritchard street has been infilled with a window. The windows are timber double hung sash windows. The rear verandah to the residence has also been enclosed with timber boarding.

The whole façade has been painted in a modern colour scheme. Generally, the condition of the building is good though there are small areas of deterioration such as the timber window frames and losses to mortar requiring basic maintenance and repairs.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Removal of wrap-around awning\*
- Skillion extension to rear of shop connecting to the gable-roof
- Door opening to Pritchard Street East elevation infilled to a window opening
- Timber boarding above door and windows covering top lights (possibly removed)\*
- Timber board enclosing rear verandah of residence\*

Although there have been some modifications to the building, these are sympathetic to the heritage values of the building. The overall integrity of the building is high.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c.1922
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. In accordance with normal custom, Wentworth's salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

In 1910, Wentworthville was again subdivided into the suburb of Girraween. The suburb was created by real estate developer Arthur Rickard of Arthur Rickard & Co. Ltd who began subdividing the area near Toongabbie station during WWI. In this period, Pendle Hill, a locality within Wentworthville became

a suburb changing its name from Wentworthville West to Pendle Hill in 1917. After the 1919 Local Government Act, all subdivisions had to be approved by local councils who examined their allotment sizes, layouts, and streets. Only when the location on a hilltop made a grid pattern subdivision undesirable did surveyors and promoters deviate from the norm, such as Dorothy Mount in Wentworthville (subdivided in 1916) and the Constitution Hill Estate (subdivided in 1924). Pendle Hill was another new subdivision that opened in 1927 and rapidly grew in popularity for its neat cottages and attractive gardens.

The area of Garfield Street underwent sale and subdivision numerous times between 1888 and 1922, when the present boundaries for 17 Garfield Street were set and appear to be maintained today. At this time, the footprint for the corner shop was included in the subdivision plans indicating it was being planned and built around this time. The shop was leased to a grocer, Frederick Inskip between 1924-1935. During WW2, it was reputedly being used as a gaming house. A range of retailers and professionals have leased the space continuously until the present day. The site is currently used as a commercial property.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations. X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, a paint analysis should be undertaken and a more appropriate historic colour scheme should be implemented.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Arts and Crafts shop building	I255
Heritage Study	Federation Arts and Crafts shop building	I255
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ. 1967. *Wentworth, D'Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014. *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Eastern elevation of Federation Shop.



Northern elevation of shop front.



Shop as it sits on corner of Garfield Street and Pritchard Street East.

## Heritage Inventory Sheet

<b>Item Name</b>	Masonic Temple		
<b>Recommended Name</b>	Former Wentworthville Masonic Temple		
<b>Site Image</b>			
<b>Address</b>	26 Garfield Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	19	-	7330
<b>Draft Cumberland LEP ID</b>	I256		
<b>Former LEP ID</b>	I127 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Religion	

## Curtilage Map



## Statement of Significance

The Former Wentworthville Masonic Temple is of local significance for its historic, aesthetic and representative values. The building illustrates the nature of suburban development in the Wentworthville area in 1927, during the Interwar period. The building is historically associated with the Wentworthville Masonic Lodge, as well as the development of local social and cultural institutions that accompanied the residential growth of the period. Architecturally, the building is a representative example of suburban Masonic Temples built in the period in the Inter War Free Classical style. Externally, it appears to retain much of its original character and fabric, although it was modified to accommodate the Armenian Holy Trinity Church. Through this, the building still retains its aesthetic significance as a prominent and well-kept historic building within the street.

## Criteria Assessment

a) Historic	The building illustrates the nature of suburban development in the Wentworthville area in 1927, during the Interwar period. The building is historically associated with the Wentworthville Masonic Lodge, as well as the development of local social and cultural institutions that accompanied the residential growth of the period.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	Externally, it appears to retain much of its original character and fabric, although it was modified to accommodate the Armenian Holy Trinity Church. Through this, the building still retains its aesthetic significance as a prominent and well-kept historic building within the street.
d) Social	The item does not meet this criterion.

e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	Architecturally, the building is a representative example of suburban Masonic Temples built in the period in the Inter War Free Classical style.

### Physical Description

The Former Wentworthville Masonic Temple is a double storey Inter-war Free Classical style building. The building features a hipped roof with small gabled vents at the ridge peak and is clad in terracotta tiles. The principal façade is decorated with several classical motifs including rendered brick pilasters, an entablature and Romanesque rendered arches with a rectangular cartouche at the centre. The entablature is supported on rendered classical columns with a simple base. The main entrance features a timber door and fanlight with diagonal lattice glazing. The upper level of the principal facade features three rectangular windows with diagonal lattice glazing. These windows are framed by simplistic rendered detailing, including a rendered cornice sill and lintel with a bare rectangular keystone. Window openings along the north and south elevations retain the diagonal lattice glazing with a rendered lintel along the upper façade and multipaned double hung sash windows along the lower façade.

The building features a rear extension that wraps around to the southern elevation. This extension is visible from Garfield Street. The southern elevation also features a side addition. Both are constructed of rendered concrete and have flat roofs. The additions are associated with the buildings use as the Armenian Holy Trinity Church.

The surrounding landscape of the building includes restrained landscaping elements with two young trees framing the entrance and hedging in garden beds along the principle elevation. The surrounding land is largely of concrete, with new paths and a driveway along the north elevation that leads to concrete carpark at the rear of the building. The property's boundary on Garfield Street is marked by a contemporary brick fence with steel balustrade infill and gate. The building remains a prominent element in the streetscape and is highly visible.

The building appears to be in a good condition and well maintained.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- Rear extension
- Southern elevation side addition
- Entablature, added in 2012\*
- Romanesque rendered arches, added in 2012\*
- New boundary fence and gate
- Concrete access ramp, paths and carpark
- New signage, added in 2012
- Contemporary landscaping
- Removal of 'Masonic Temple' from the upper string course on the principle façade\*
- New light fittings internally, added in 2012
- New pews internally, added in 2012

The building appears to have substantially modified for use as a Church. Although modified, the building appears to be well maintained and retains much of its original material and fabric. Although the extension and side addition are visible from the front elevation, they do not distort the form, scale and massing of the original structure. The integrity is considered to be moderate.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* element detracts from the overall cultural significance of the place

### Historical Notes

Construction years	1927
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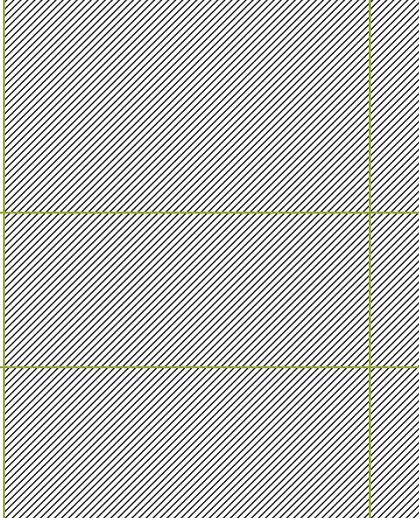
In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. The subject property formed part of the Wentworthville Estate subdivided in c.1881. Wentworthville was proclaimed a town in 1890.

The masonic temple was built by a member of the masonic lodge known as Brother George Redman at a cost of £3500 which included the internal furniture. The foundation stone was laid by Grand Master Bro. J Goulston in April 1927. The Masonic Lodge opened in August 1927 and was celebrated with a 'Ladies Night' for all the Wentworthville Masons, their mothers, wives, daughters and sisters.

In 2007, the Armenian Church Diocese, clergy of the Church of Holy Resurrection acquired the Wentworthville Masonic Temple. The former Masonic Temple space was acquired to establish a Church to serve the spiritual and religious need of the growing Armenian population in the area. A redevelopment project was undertaken in 2012 to transform the internal space to a holy sanctuary. This saw a number of changes to the interior with the inclusion of new light fittings and pews, as well as external elements such as the landscaping, an entablature over the entrance and Romanesque arches on the principle façade. The holy alter was consecrated by Bishop Haigazoun Najarian on 5 January 2014. The building remains in use as the Armenian Holy Trinity Church.

### Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	X

4. Consider additional research to nominate this item for the State Heritage Register.	9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
	11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

<b>Listings</b>		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Masonic Temple	I256
Heritage Study	Masonic Temple	I256
National Trust Australia Register	N/A	-

<b>Previous Studies</b>			
Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

<b>Other References</b>
<ul style="list-style-type: none"> <li>▪ Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.</li> </ul>
<ul style="list-style-type: none"> <li>▪ Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.</li> </ul>
<ul style="list-style-type: none"> <li>▪ Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.</li> </ul>

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images

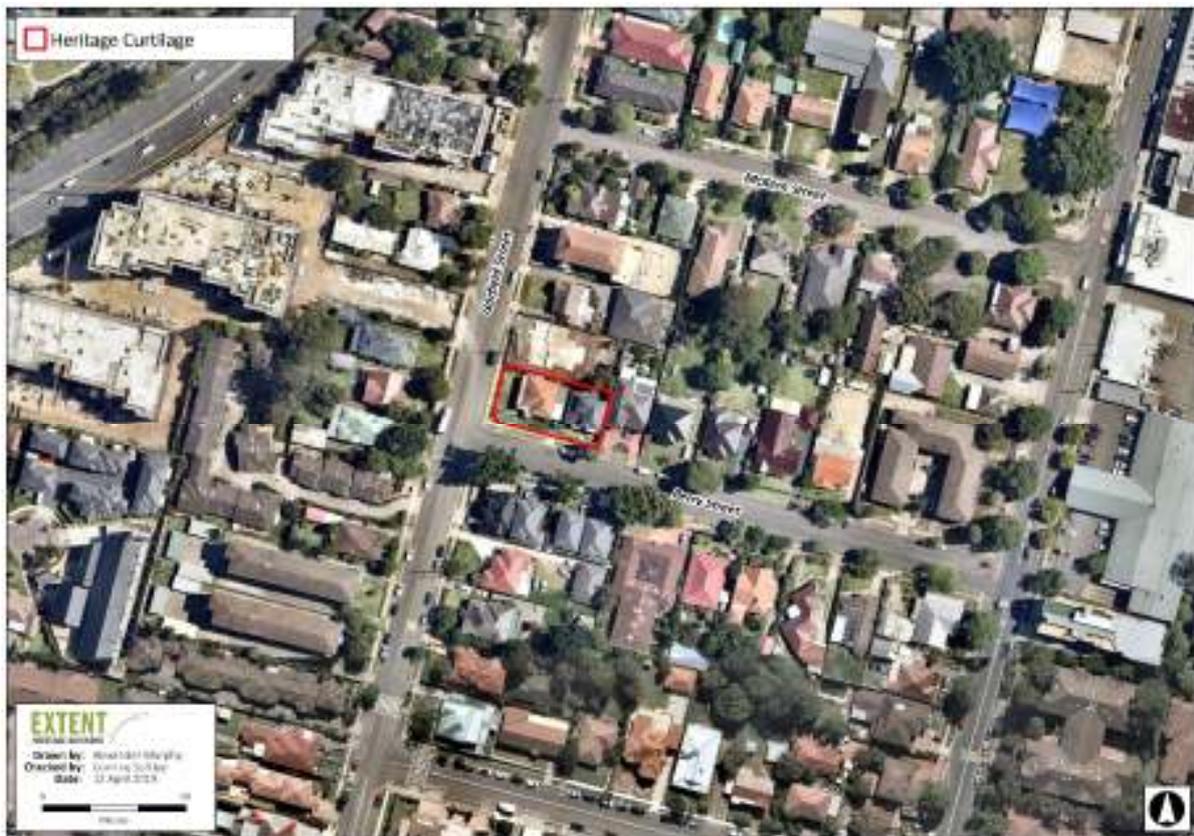


Overview of Former Masonic Temple.

## Heritage Inventory Sheet

<b>Item Name</b>	Inter-War Bungalow		
<b>Recommended Name</b>	Inter-war Bungalow		
<b>Site Image</b>			
<b>Address</b>	32 Garfield Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	1-2	-	1201355
<b>Draft Cumberland LEP ID</b>	I257		
<b>Former LEP ID</b>	I128 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Building (Private)	

## Curtilage Map



Revised curtilage recommended – refer below

## Statement of Significance

The dwelling at 32 Garfield Street, Wentworthville is locally significant for its aesthetic and representative values. Built c1923, the dwelling has aesthetic significance as a largely intact and fine example of an Inter-War bungalow with Federation period influences. Located on a large block on a prominent street corner, it is an important element to both streetscapes it addresses. While it has been slightly modified, the building remains an important part of the historic building stock in the area.

### Criteria Assessment

a) Historic	The item does not meet this criterion.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a largely intact and fine example of an Inter-War bungalow with Federation detailing. Located on a large block on a prominent street corner, it is an important element to both streetscapes it addresses. While it has been slightly modified, the building remains an important part of the historic building stock in the area.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The dwelling is a largely intact and fine example of an Inter-War bungalow with Federation period influences.

## Physical Description

The subject building is a face brick bungalow with a prominent hipped main roof clad in terracotta tile, as well as a flat roof over the L-shaped front verandah. The roofscape features one brick chimney with a single terracotta cowl pot and a whirly bird. The verandah roof is supported on timber posts with screen detailing located on brick piers. There is a brick balustrade. The brick balustrade that spans between the piers features rendered capping which is painted blue. The verandah features tile and terrazzo finish to the floor. The facades addressing the street feature pairs of French doors which open onto the verandah, a panelled front door with sidelights and, timber framed windows with Edwardian style lead lights and brick and rendered arched heads. The rear of the house includes a skillion-roofed section clad in brick and Fibre Cement sheet with aluminium windows.

The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street. A metal garage which was added in 1996 was subsequently been removed.

The property commands a prominent corner lot and is bound by a brick and decorative wrought iron fence. The building features a modest setback and is fronted by a mature garden with some contemporary landscaping. The back of the property is lined with a corrugated steel fence. While there is no specific landscape elements of value, the overall layout is contributory to the aesthetic significance of the place and should be managed accordingly.

Overall the condition of the dwelling is good. It appears to well-maintained having undergone general maintenance and repair works, including the repainting of timber elements, replacement of guttering to verandah and main roof, and the repointing of mortar joints in certain areas.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Council records indicate:
  - Works to the porch were carried out in 1950
  - The skillion-roofed section to the rear and the Fibre Cement additions were made in 1956
- Aluminium windows have been fitted along the side of the dwelling\*
- A metal garage was added in 1996, this has subsequently been removed
- A recent rear brick addition fronted with a flat roofed carport has been added to the building
- Timber verandah elements have been repainted
- Mortar joints along the southern elevation have been repointed
- Whirly bird addition to roof, painted to match the roof tiles
- The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street

Although slightly modified, the building presents as a highly intact interwar bungalow. The rear additions are sympathetic to the buildings form, scale and materiality and do not adversely impact on the heritage significance of the item.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c.1923
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When

he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, and Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890 following this subdivision of the Wentworth Estate in 1881.

In 1893, a portion of Wentworth's estate was bought by William Pritchard, an Auctioneer, and the land was subsequently subdivided. In 1892 a portion of land was transferred to John Hamilton who sold it in 1913 to the Intercolonial Investment Land and Building Company Ltd. A covenant was placed on the property at this time to state that any building erected within the following 20 years should cost not less than 250 pounds. Intercolonial subdivided the land further and in 1916 sold part of the subdivision to Frederick Ebenezer Greenwood, who in turn sold part in the next year to Minna Catherine Flaes.

In 1918, this property was formed through a subdivided of a piece of land into two parcels. The site was purchased by Agatha Leddin in 1920 who subsequently sold it to Septimus Owen, a builder, in 1923. It is not clear when the house was constructed, however, its style would indicate that it was built at approximately this time. In 1931 the property was sold again and has been transferred a number of times since. The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street. The original dwelling remains in use as a private residence.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	

	<b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.	
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Other recommendations and/or comments:

- As the eastern portion of the current site includes a modern two-storey dwelling of no heritage value and the two properties are subdivided, the heritage curtilage shown below should be considered as a revised curtilage for the Cumberland LEP. Should the revised curtilage be adopted, this listing sheet does not reflect the current Lot/DP which will need to be altered.



Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-War Bungalow	I257
Heritage Study	Inter-War Bungalow	I237
National Trust Australia Register	N/A	-

Previous Studies			
Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



View of dwelling from Garfield Street, including garden setting and fence.



View of dwelling from Perry Street, including modern driveway and garden setting.



Detail of brick extension to dwelling.

## Heritage Inventory Sheet

<b>Item Name</b>	Federation Period / Queen Anne Style Bungalow		
<b>Recommended Name</b>	Federation Queen Anne Bungalow		
<b>Site Image</b>			
<b>Address</b>	38 Garfield Street, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	38	-	7330
<b>Draft Cumberland LEP ID</b>	I258		
<b>Former LEP ID</b>	I130 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 38 Garfield Street, Wentworthville is of local heritage for its historic, aesthetic and representative values. Built in c.1916, the dwelling has historic significance as evidence of the subdivision of the original D'Arcy Wentworth Grant by local auctioneer William Pritchard and is one the earliest large remaining suburban residences constructed on this 1881 estate. The dwelling has aesthetic significance as a fine and largely intact Queen Anne Federation Bungalow and is a representative example of that building type. The building has additional aesthetic value for the positive contribution it makes to the character of Garfield Street in general.

### Criteria Assessment

a) Historic	Built in c.1916 the dwelling has historic significance as evidence of the subdivision of the original D'Arcy Wentworth Grant and is one the earliest large remaining suburban residences constructed on this 1881 estate.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a fine and largely intact Queen Anne Federation Bungalow and is a representative example of that building type. The building has additional aesthetic value for the positive contribution it makes to the character of Garfield Street.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Queen Anne Federation Bungalow.

## Physical Description

The item is a single storey cottage built in the Federation Queen Anne Bungalow style with an asymmetrical layout. The building has face brick walls which have been tuck pointed to the front façade. The roof is a gabled hip roof clad with slate tiles and terracotta ridge caps. The roof also features two single and one double rendered brick chimneys with terracotta chimney pots, a vented gable end and exposed timber rafters. The gabled wing to the street has a roughcast rendered end and simple timber panel. A verandah wraps around the northwest corner between the hipped wings and is an extension of the main roof. The verandah roof is supported on pairs of squat timber columns on brick piers with exposed rafters, a decorative timber infill and brackets with a low steel balustrade and concrete base. The front door next to the gabled wing is timber and glass panelled, with leadlight side and fan lights. The second door in the hipped wing terminates the northern verandah and has an air-conditioning unit installed to the fan light. The projecting gabled wing to the street elevation features a set of three timber framed double hung sash windows with contemporary flyscreens. The windows have timber framed awnings with slate roof tiles. A three faceted bay window located in the verandah recess of the front façade is similarly a set of three timber framed double hung sash windows with contemporary flyscreens.

The rear verandah has been infilled with fibro cladding and louvred windows. The rear addition is not readily visible from the street elevation, according to the former listing sheet the rear addition '*has hardiplank wall cladding and aluminium sliding windows. An open carport or shed is attached at the rear SE corner.*' The rear setback contains a swimming pool dated to c.1997.

A concrete driveway on the northern boundary leads to a small garage at the rear. The dwelling is fronted by a mature and established garden landscape, bound by a low timber picket fence on rendered retaining wall with a central recessed entry to the street. While there are no specific plantings of note, the overall landscape setting contributes positively towards the heritage character of the dwelling.

Overall, the condition of the building is good. The rendered retaining wall is showing signs of cracking due to differential settlement, perhaps due to the garden bed that abuts the wall. There is some minor biological growth on the slate tiles.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Enclosure of rear verandah with fibro and louvred windows\*
- Rear additions which are not visible from the street
- Picket fence to street with timber retaining wall
- Carport at south eastern corner
- An air-conditioning unit has been installed to fan light\*
- Steel balustrade added to the verandah
- A pool was constructed c.1997

The building remains largely intact, with alterations to the rear of the property which have retained the overall character and form of the dwelling.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years      c.1916

In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth and subdivided and sold from 1883. Allotments between Garfield and present Station Street were purchased by the Wentworthville Estate Land and Building Co Ltd in 1888. Land purchased in 1893 by William Pritchard included the subject property. The dwelling formed part of four 1/2 acres between Garfield St and present Station St purchased by John Hamilton in 1895, which was subdivided and sold between 1913-1918, forming the present property boundaries. A covenant was placed on the property in 1913 which required any building to cost not less than 250 pounds.

The subject property was one of the first to be sold in the area. It was purchased by Alfred Lucas, a salesman, in 1914. Lucas also purchased the adjacent allotment at no. 37 which is located to the north. Mortgages taken out by Lucas between 1914-24 and 1924-27 were most likely for the purchase of the land and construction of the cottage. The Sands Directory first noted Lucas at 'Foreston' in 1916. Lucas resided at the property until 1937. The building remains in use as a private residence.

### Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring	X		

		development (form, scale, bulk, setback and height).		
<b>5.</b> The heritage curtilage for this item should be revised/reduced.		<b>10.</b> Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	<b>X</b>	
		<b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

#### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period / Queen Anne Style Bungalow	I258
Heritage Study	Federation Period / Queen Anne Style Bungalow	I258
National Trust Australia Register	N/A	-

#### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

#### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



Overview of roof.



Overview of front landscaped setting.



View of the dwelling from the driveway.



Detailing of retaining wall.

## Heritage Inventory Sheet

<b>Item Name</b>	Inter-war Cottage		
<b>Recommended Name</b>	'Ingallara' - Inter-War Cottage		
<b>Site Image</b>			
<b>Address</b>	41 Garfield Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	29C	-	325228
<b>Draft Cumberland LEP ID</b>	I259		
<b>Former LEP ID</b>	I131 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (Private)	

## Curtilage Map



## Statement of Significance

The dwelling at 41 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1903, the building is historically linked to the residential development of Wentworthville following the subdivision of the Wentworth Estate in 1881 by local auctioneer William Pritchard. The dwelling has aesthetic significance as a modest Inter-War period residence, notably for its use of weatherboard and fibro cladding. It is representative of the simplicity and fabric of the Inter-War period. The building makes a positive contribution to the streetscape character of Garfield Street, informed by other single storey federation bungalows, and is readily identifiable as part of the historic building stock.

## Criteria Assessment

a) Historic	Built c.1903, the building is historically linked to the residential development of Wentworthville following the subdivision of the Wentworth Estate in 1881 by local auctioneer William Pritchard.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a modest Inter-War period residence, notably for its use of weatherboard and fibro cladding. The building makes a positive contribution to the streetscape character of Garfield Street, informed by other single storey federation bungalows, and is readily identifiable as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.

g) Representativeness	It is representative of the simplicity and fabric of the Federation period.
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### Physical Description

The dwelling is a single storey timber framed cottage with a gabled hip roof and hipped wing extending towards the street. The roof is clad in corrugated iron and features a face brick chimney with a terracotta chimney pot and new Colorbond guttering. The building is built on brick foundations (piers to the side and brick infill to the front) with weatherboard walls to waist height and battened fibro above. A flat roof verandah extends around the hipped wing to form a roof over the bay window. The verandah is supported by pairs of timber posts set into a concrete base with simple capital and neck mouldings, and features Klip Lok roof sheeting. The hipped wing features a faceted bay window with three timber double hung multi-paned (6 per sash) windows. The front door adjacent to the hipped wing is obscured by metal security screen. Adjacent are a pair of similar windows to the faceted bay, with wide architraves. There are contemporary flyscreens fixed to each window opening. The building features a rear addition with a hipped roof clad in Colorbond sheet metal with solar panels.

A concrete driveway along the northern boundary leads to a small garage at the rear of the property. The garage features a contemporary garage with a roller door, walls clad in weatherboard to waist height and battened fibro above. The garage has a hipped gable roof with a central gablet infilled at the ridge peak. It appears to have been altered at the same time as the rear extension due to similar roof cladding materiality.

The street boundary features a low metal fence covered extensively with ivy. The property appears to retain its boundaries formed in 1930.

The building is in a good condition and is well maintained. Timber elements have been repainted and the guttering and downpipes replaced.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- Rear extension
- Solar panels added to the roof of the rear extension
- Modified garage door and roof
- New Colourbond guttering and downpipes
- New paint scheme
- Klip Lok sheeting to verandah roof\*

The buildings integrity is considered to be high. On the most part, building alterations do not detract or adversely impact the significance of the building and generally align with necessary building maintenance and repair.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	c.1903
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually

subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The land on which this dwelling is located was part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments on the western side of Garfield Street were purchased by the Wentworthville Estate Land and Building Company Limited in 1888. Land purchased in 1893 by William Pritchard, local auctioneer, included the subject property. Sections of Pritchard's Estate, including the subject property, passed to his wife Anna Maria in 1897. Pritchard subsequently subdivided the area. The subject property formed part of 3 acres 1 rood purchased by Emma Ormerod, wife of John Ormerod in 1901. It appears the cottage was constructed shortly after, as the property is first noted in the Sands in 1903, occupied by John Ormerod, fruit grower.

The property was known as 'Ingallara' in 1930. The present boundaries were formed in 1930 upon purchase by the Commissioners Government Savings Bank of NSW in 1930, by William Shannon in 1946, and by Raymond Ormerod in 1948. The building remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

			<p><b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.</p>		
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Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Cottage	I259
Heritage Study	Inter-war Cottage	I259
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, *Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd – A Social History of Western Sydney*. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



Overview of dwelling, driveway and landscaping.

## Heritage Inventory Sheet

<b>Item Name</b>	"Nelyambo", Federation period bungalow		
<b>Recommended Name</b>	'Nelyambo' - Federation Bungalow		
<b>Site Image</b>			
<b>Address</b>	42 Garfield Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	55	-	1129817
<b>Draft Cumberland LEP ID</b>	I260		
<b>Former LEP ID</b>	I132 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



**Revised curtilage recommended – refer below**

## Statement of Significance

The dwelling at 42 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1919-1921, the dwelling relates to the residential development of Wentworthville that followed the establishment of the railway station and subsequent attraction for people to move to the area. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which retains much of its original detailing. It has additional aesthetic significance for the contribution it makes to the character of Garfield Street generally. The building is a representative example of Federation cottages built in the area.

### Criteria Assessment

a) Historic	Built c.1919-1921, the dwelling relates to the residential development of Wentworthville that followed the establishment of the railway station and subsequent attraction for people to move to the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item is of aesthetic significance as an intact and fine quality Federation period cottage which retains much of its original detailing. It has additional aesthetic significance for the contribution it makes to the character of Garfield Street generally.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The building is a representative example of Federation cottages built in the area.

## Physical Description

The dwelling is a single storey Federation cottage. The cottage has an asymmetrical layout with face brick walls which have been tuck pointed to the street facades. The corrugated iron roof is hipped with two gabled wings projecting to the streets on the south and west. A verandah extends along the south and west elevations, and forms part of the main roof. The verandah is supported by pairs of timber posts on a curved brick balustrade. The timber posts feature simple timber brackets. The verandah also features tiled base and steps. The gabled wings have a faceted bay windows with brick spandrels and narrow multi-paned casement windows with multi-paned top lights and coloured glass panes at the bottom. The bay windows have a flat roof awning supported by carved timber brackets. The windows along the recessed verandah are timber framed, multi-paned casement windows. The front door adjacent the west wing is timber panelled, with glazed top and side lights. A second door into south wing terminates the south verandah. At the rear is a face brick skillion which appears to be original, and timber windows have segmental arched heads. An open verandah at the rear has a bullnose roof profile and is a later addition.

At the rear south east corner of the property is a small gabled entry portico off Bennett Street. A gabled carport is located off Garfield Street to the north and is addressed by a concrete driveway. The dwelling is situated on a deep corner block to Garfield and Bennett Streets, with an established garden setting. There two rows of five established palm trees located along entrance footpath. They form a significant component of the landscapes setting. They are surrounded by hedges along the dwelling and small contemporary plantings along the boundary fence.

The block appears to be subdivided at the rear with a contemporary building which addresses Bennett Street. The original subdivision boundary is therefore compromised.

Overall, the condition of the building is considered to be fair and the house presents as well-maintained from the street. The roof appears worn, however not dilapidated and operational. There is, however, some cracking to brickwork along the verandah brick infilled balustrade.

Condition	Good	Fair	Poor
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## Alterations and Additions

- Rear bullnose verandah
- Gabled entry portico to Bennet Street
- Carport off Garfield Street
- Repointing to mortar joints along street façade\*
- Roof sheeting replaced in c.1980-90s
- Subdivision of lot to create two lots

Overall, the integrity of the building is considered to be moderate. Although this is the case, the dwelling remains largely intact with alterations primarily at the rear of the property that do not detract from the dwellings overall form, scale or key detailing.

There are, however, obvious sections of brickwork which have been repointed on the principle façade (west elevation) and along the brick verandah balustrade that do not match the existing tuck-pointed mortar joints. The patch repairs have inadvertently negatively impacted on the aesthetic of the dwelling. The tuck pointing along these principle façades should be maintained using traditional techniques to match the existing.

Integrity	High	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years      c.1919-1922

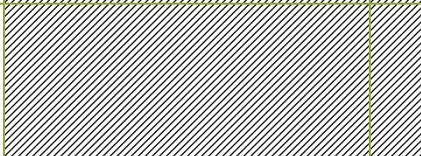
In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject dwelling is located on the land originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments between Garfield and Station Streets were purchased by the Wentworthville Estate Land and Building Company Limited in 1888. The subject property formed part of 6 acres 1 rood and 8 perches purchased by John Hamilton in 1894. The land was further subdivided and progressively sold between 1913-1919, forming the boundaries evident along the street today. A covenant placed on the property in 1913 required any building constructed on the property within the following 20 years should not cost less than 250 pounds. The property was purchased in 1917 by Leslie and Harry Thompson, and by Charles Miller in 1918. A mortgage taken out by Miller between 1919-22 to William Hitchcock and George Folkard, timber merchants, most likely was for the construction of the cottage. The Sands Directory first notes Miller at the property in 1921. W E Thomas is listed at the property between 1926-1928, and H T Murray 1930-33.

The dwelling remains in use as a private residence. However, it does not retain the original allotment boundary formed with the 1913-1919 subdivision as the rear of the property was subdivided to now include a contemporary dwelling addressing Bennett Street.

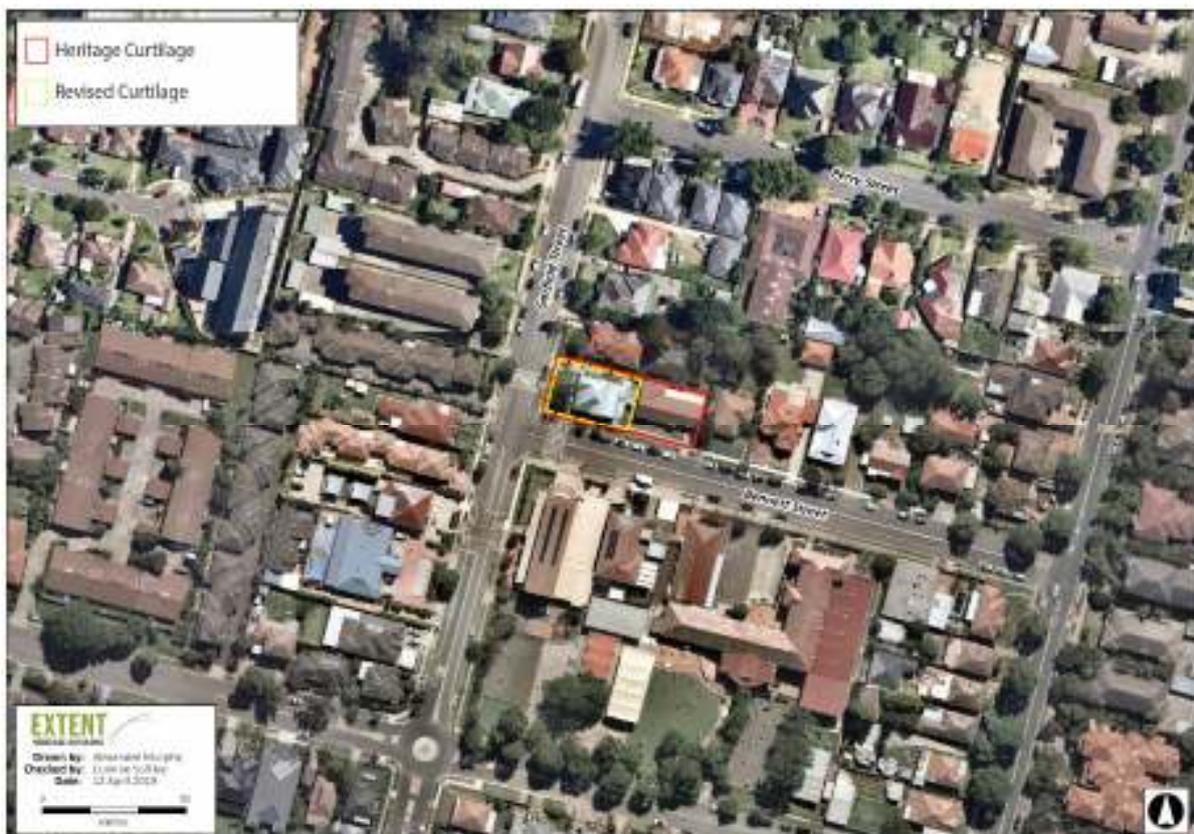
## Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	

<p><b>4.</b> Consider additional research to nominate this item for the State Heritage Register.</p>		<p><b>9.</b> Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).</p>	<p><b>X</b></p>	
<p><b>5.</b> The heritage curtilage for this item should be revised/reduced.</p>	<p><b>X</b></p>	<p><b>10.</b> Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).</p>	<p><b>X</b></p>	
		<p><b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.</p>		

Other recommendations and/or comments:

- Repointing of brickwork should make an attempt to match existing mortar joints and be tuck-pointed.
- Due to the rear development and subdivision of the original allotment, the heritage curtilage of the item now only includes Lot 55 in DP1129817. The heritage curtilage shown below should be considered as a revised curtilage for the Cumberland LEP. Should the revised curtilage be adopted, this listing sheet does not reflect the current Lot/DP which will need to be altered.



### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Nelyambo”, Federation period bungalow	I260
Heritage Study	“Nelyambo”, Federation period bungalow	I260
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, ‘Wentworth, D’Arcy (1762-1827)’, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling on the street corner.



View along Bennet Street showing the dwelling on the left.



Detail of brickwork which has been poorly repointed.



Detail of brickwork which has been poorly repointed.



Boundary fence visible from Bennet Street.

## Heritage Inventory Sheet

<b>Item Name</b>	Federation Period Residence		
<b>Recommended Name</b>	Federation Cottage		
<b>Site Image</b>			
<b>Address</b>	45 Garfield Street, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	101	-	830675
<b>Draft Cumberland LEP ID</b>	I261		
<b>Former LEP ID</b>	I133 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 45 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1913, the building is historically linked with the residential development of the area that followed the establishment of the railway and subsequent attraction for people to move to the area. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which contributes positively to the character of Garfield Street through both built and landscape elements. The building is representative of a quality Federation period cottage.

### Criteria Assessment

a) Historic	Built c.1913, the building is historically linked with the residential development of the area that followed the establishment of the railway and subsequent attraction for people to move to the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has high aesthetic significance as a largely intact Federation cottage with fine detailing which contributes positively to the character of Garfield Street through both built and landscape elements.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Federation period cottages.

## Physical Description

The item is a single storey Federation cottage with an asymmetrical layout. The dwelling features face brick walls with polychromatic details, including string courses and segmental arched window heads. The brickwork to the southern and eastern façade is of a different colour and has been tuck pointed. The roof is hipped with two gabled wings that extend to the east and south, clad with Colorbond roof sheeting. The roof also has two rendered brick chimneys. The east gable end has a simple barge board detail and a central triple hung window with wide segmental arched heads and bullnose brick sills. A bullnose verandah wraps around the southeast corner of the dwelling between the gable wings. The bullnose verandah is supported on simple timber posts with decorative timber brackets and valance. The verandah has a tiled floor base. The two doorways off the verandah are obscured by aluminium security screens. Windows are generally timber framed double hung or casement windows that have segmental arched heads and brick sills. The rear of the dwelling has a skillion roofed timber weatherboard addition with an aluminium framed window.

The dwelling retains its original subdivision boundaries. Built with a deep setback, the dwelling is fronted by an established landscape setting with several mature trees lining the driveway and boundaries. The concrete driveway on the south side leads to a timber framed carport at the rear.

The building is in a good condition and appears to be a well-maintained residence. The brickwork appears to be recently repointed.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Weatherboard skillion rear addition
- Roof sheeting replaced
- Recent tuck pointing of south and east elevations
- Aluminium framed window to the rear\*

The building is largely intact with minor alterations and additions. All alterations have respected the buildings heritage values and follow the principle of replacing heritage fabric on a like-for-like basis. The buildings integrity is considered to be high.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1913
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject site is part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments on the western side of Garfield Street were purchased by the Wentworthville Estate Land and Building Company

Limited in 1888. Land purchase in 1893 by William Pritchard, auctioneer, included the subject property. Sections of Pritchards Estate, including the subject property, passed to his wife Anna Maria in 1887. Pritchard subsequently subdivided and the subject property formed part of 3 acres 1 rood purchased by John Armour, a messenger, in 1912. The land was progressively subdivided and sold between 1913-53. The property was purchased by Edward Andrew in 1913, and the house appears to have been constructed shortly after, first listed in the Sands Directory in 1915. Andrew resided at the property until 1925, and the property was purchased by Frederick Lambert in 1927. Lambert resided at the property between 1929-48, when it was purchased by Noel Croghan. The dwelling remains in use as a private residence.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Residence	I261
Heritage Study	Federation Period Residence	I261
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora. Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd – A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



View of the dwelling from the driveway entrance.



View of the dwelling from the driveway entrance.



## Heritage Inventory Sheet

<b>Item Name</b>	Federation Period Cottage		
<b>Recommended Name</b>	Federation Cottage		
<b>Site Image</b>			
<b>Address</b>	26 Jordan Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	91B	-	373242
<b>Draft Cumberland LEP ID</b>	I262		
<b>Former LEP ID</b>	I134 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 26 Jordan Street, Wentworthville is locally significant for its historic, aesthetic and representative values. Built in c.1914 the house is historically linked to the residential development of the area that followed the establishment of the railway and subdivision of land surrounding the railway station, principally the Government Domain estate. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which makes a positive contribution to the character of Jordan Street. The building has representative values as a quality weatherboard Federation cottage.

### Criteria Assessment

a) Historic	Built in c.1914 the house is historically linked to the residential development of the area that followed the establishment of the railway and subdivision of land surrounding the railway station, principally the Government Domain estate.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which makes a positive contribution to the character of Jordan Street.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item has representative values as a quality weatherboard Federation cottage.

## Physical Description

The subject building is a single storey weatherboard clad Federation cottage. The dwelling has a hipped roof with a projecting gable extending towards the street, which is clad in corrugated iron. The roofscape also features a single brick chimney on the eastern side. The front elevation has a single door with an infilled top light, aluminium security screen and a pair of casement windows. The gable end features a timber screen with a simple bargeboard and finial above a faceted bay with a pair timber casement windows at the centre. The centre casement windows have single casement windows either side and fixed timber awnings. All windows to the street feature a band of coloured glass panes along the bottom, multi-paned coloured top lights, and simple timber architraves and sills. The verandah has a corrugated iron skillion roof with a timber ladder valance, which is supported on timber posts. The verandah has replaced a fibro infilled balustrade with a timber ladder and retained the original timber tongue and groove floorboards. The verandah has been extended around the western elevation and enclosed with fibro cladding, supported on brick piers with aluminium sliding windows and timber framed doorway. A possibly early weatherboard lean-to is located at the rear south eastern corner of the dwelling.

There is a low painted timber picket fence to the street and side boundaries. A driveway along the western boundary leads to a long garage towards the rear of the property. It appears to be clad in fibro sheeting with a skillion roof. The site has an established garden setting with a range of plantings, including a frangipani tree.

The building is well maintained and appears to be a good condition.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- Verandah has been extended around the western elevation
- Verandah below the balustrade has been enclosed with fibro cladding
- New roof sheeting

The dwelling is largely intact and retains much of its original fabric. Although modified the buildings significance is not adversely impacted as the overall form and scale of the building is respected. The integrity is considered to be high.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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*\* element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c. 1914
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property originally formed part of the 1065 acre Government Domain. The later subdivision of the Government Domain in 1859 saw much of the land acquired by William Fullagar, who acquired extensive tracts in the present day Westmead and Wentworthville area. In 1913 approximately 89 acres

were purchased by Charles Veron, grazier, who subsequently subdivided in 1914, forming Jordan Avenue. The subject area was situated on Lot 91 which comprised of 1/2 acre that was purchased by Florence Collins, wife of Charles Collins in 1914.

Although the exact date of construction of the cottage is unknown, its architectural style would indicate it was constructed for Collins as part of this early 20th century subdivision. This view is substantiated in the Sands Directory, as Charles Collins is listed at the property between 1923-33. Florence Joy and Hector Donald purchased the property as tenants in common in 1948. The property was further subdivided, and the present boundaries formed in 1960, when the cottage and grounds were purchased by Philip Wurst. The Wurst's resided at the property until 1989, when it was purchased by the present owner, Janice Sillett. An application for building works in 1961 was for a fibro garage. The dwelling remains in use as private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Cottage	I262
Heritage Study	Federation Period Cottage	I262
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



Overview of dwelling and landscaping.



Overview of dwelling from the driveway entrance.



## Heritage Inventory Sheet

<b>Item Name</b>	Federation Cottage		
<b>Recommended Name</b>	Late Victorian Cottage		
<b>Site Image</b>			
<b>Address</b>	42 Lane Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	17	1	963
<b>Draft Cumberland LEP ID</b>	I263		
<b>Former LEP ID</b>	I135 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The item at 42 Lane Street, Wentworthville is locally significant for its historic, rarity and representative values. It is an early surviving cottage, likely erected in the late nineteenth century on the 1881 Wentworthville Estate subdivision of D'Arcy Wentworth's original land grant. This type of dwelling is now the only one of its kind remaining in Lane Street. The cottage is a good representative example of the many small weatherboard "workingmen's cottages" built in the late 19th & early 20th century throughout Wentworthville in a simple late Victorian style.

## Criteria Assessment

a) Historic	It is an early surviving cottage, likely erected in the late nineteenth century on the 1881 Wentworthville Estate subdivision of D'Arcy Wentworth's original land grant. This type of dwelling is now the only one of its kind remaining in Lane Street.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item does not meet this criterion.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	This type of dwelling is now the only one of its kind remaining in Lane Street.
g) Representativeness	The cottage is a good representative example of the many small weatherboard "workingmen's cottages" built in the late 19th & early 20th century throughout Wentworthville in a simple late Victorian style.

## Physical Description

The item is a simple timber weatherboard cottage, painted yellow, with bullnose verandah to the front elevation. The gable main roof and verandah have new galvanised iron cladding and guttering. The gable ends have two timber finials which appear to be replacements. The roof also features a painted brick chimney with stepped brick course and a chimney pot. The verandah is supported on replaced timber verandah posts with decorative timber corner brackets. The timber posts and bracket are coated in red paint. The windows to the front elevation are paired timber-framed casement windows with small coloured panes to top & bottom. They have simple timber sills with a decorative timber skirt. The front façade features rusticated board while the side elevations are ship lapped board. A rear addition is clad in fibro sheeting with a skillion roof.

The rear landscape is predominately concrete slabbed. A contemporary toilet block is built adjacent the cottage with ship lapped weatherboards and a skillion roof clad in pressed metal sheeting. Further back, the site contains a gabled roof pergola. The rear of the site is enclosed by a modern steel balustrade fence.

The front landscape features paved retaining gardens with bullnose brick capping. A curved brick footpath with a red steel handrail is located to the north and adjoins the verandah. The southern boundary has many established and mature trees. Access of the site has been altered to account for the new function for the Occasional Child Care Association NSW.

The building appears to have been recently renovated and is in a good condition overall.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- New roof sheeting
- Replaced finials
- Replaced timber brackets and post
- New paint scheme\*
- Rear skillion roof, fibro clad addition
- Rear toilet block
- Rear gabled roof pergola
- Rear concrete slab
- Access - Paved entry to item, including a ramp with a balustrade\*
- Boundary fence (steel balustrade fence)

The building appears to be highly modified, though the replacement of degraded fabric has been undertaken on a like for like basis including timber elements of the verandah and roof. The building retains its form and scale, though the overall access and landscaping of the site has been altered significantly to account for the new function for the Occasional Child Care Association NSW. The integrity is considered moderate.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	Unknown, likely late nineteenth century
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville

area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is an early surviving cottage on land originally granted to D'Arcy Wentworth and subdivided 1881 as the "Wentworthville Estate". Lane Street (originally First Street) was subdivided into small allotments in the first subdivision. The property was last sold in 1993. At present the site is occupied by Occasional Child Care Association NSW.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	

		<p><b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.</p>		
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Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Cottage	I263
Heritage Study	Federation Cottage	I263
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling from the footpath along Lane Street.



Front landscape setting as viewed from the driveway.



Enclosed childcare space to the rear of the dwelling.



Enclosed childcare space to the rear of the dwelling.

## Heritage Inventory Sheet

<b>Item Name</b>	St Andrew's Presbyterian Church, Federation Carpenter Gothic church, circa 1923		
<b>Recommended Name</b>	St Andrew's Presbyterian Church		
<b>Site Image</b>			
<b>Address</b>	5A McKern Street, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	4	-	7330
<b>Draft Cumberland LEP ID</b>	I264		
<b>Former LEP ID</b>	I136 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Religion	

## Curtilage Map



## Statement of Significance

St Andrew's Presbyterian Church is of local significance for its historic, associative, aesthetic and social values. Built in 1840 in the heart of Parramatta and completed by 1849, the Church is historically significant as the first Presbyterian Church built in Parramatta. Importantly, it was relocated stone by stone to its present site on McKern Street, Wentworthville in 1925. The Church is historically associated with early colonial architects James Hume and James Houison, and Superintendent of Bridges, David Lennox who designed the masonry. St Andrew's Presbyterian Church is one of the few buildings designed by the David Lennox and is an important early example of a Victorian Gothic church. Although it was relocated from its original site in Parramatta, which is the source of some the church's original historical site associations and architectural integrity, the relocation of the item reflects the social significance that the Church held to the local Presbyterian community of Parramatta and Wentworthville. This community was also involved in the physical reconstruction of the Church at its present location in Wentworthville. The church has aesthetic significance for its use of sandstone and its pinnacle tower which forms a prominent local landmark in Wentworthville, significant for its continued appreciation and use by the local Presbyterian community.

### Criteria Assessment

a) Historic	Built in 1840 in the heart of Parramatta and completed by 1849, the Church is historically significant as the first Presbyterian Church built in Parramatta. Importantly, it was relocated stone by stone to its present site on McKern Street, Wentworthville in 1925.
b) Associative	The Church is historically associated with early colonial architects James Hume and James Houison, and Superintendent of Bridges, David Lennox who designed the masonry. St Andrew's Presbyterian

	Church is one of the few buildings designed by David Lennox and is an important early example of a Victorian Gothic church.
c) Aesthetic/Technical	The item retains aesthetic significance as an intact Victorian Gothic Church, although rebuilt in 1925 in Wentworthville which may have compromised some of its architectural integrity.
d) Social	Although it was relocated from its original site in Parramatta, which is the source of some the church's original historical site associations and architectural integrity, the relocation of the item reflects the social significance that the Church held to the local Presbyterian community of Parramatta and Wentworthville. This community was also involved in the physical reconstruction of the Church at its present location in Wentworthville.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

### Physical Description

St Andrew's Presbyterian Church is a sandstone Victorian Gothic church built to a traditional plan with a central aisled nave and square belltower - with castellated parapet & square corner pinnacles at the corners over the principle entrance. The church features lancet headed windows and doors, and small buttresses along nave (side) walls and at the corners of the tower. The stonework features shallow decorations on the face of the tower including circular & quatrefoil motifs.

The church grounds has a range of buildings of varying ages. A c.1960 red brick church hall with narrow timber framed windows painted white and terracotta tile roof is adjacent to the church. A contemporary building is built to the rear. The church remains prominent within the streetscape with minimal landscaping to obscure the church frontage. There is one established conifer located to the southeast corner, near McKern Street.

The building appears to be in a fair condition, although the sandstone shows some signs of discolouration and biological growth.

<b>Condition</b>	Good	<b>Fair</b>	Poor
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### Alterations and Additions

- Church rebuilt stone by stone in Wentworthville between 1925-1928
- Church hall built adjacent to the church, c.1950-60s
- A contemporary building is located at the rear of the church

Although the church was rebuilt in this location, it appears to retain much of its original architectural detailing. The item retains a moderate level of integrity.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	Originally constructed in 1840, relocated to Wentworthville in 1925-1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville

area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

St Andrews Presbyterian Church in Wentworthville was originally located in Church Street, Parramatta. The government had provided a site in Parramatta for the Presbyterian Church in 1837. The architect of the Church was James Hume, with some contribution from architect James Houison, often referred to as Parramatta's 'forgotten architect'. The church was built by Thomas Orr with the masonry designed by David Lennox in 1840 and completed in 1849. By the 1920s the Presbyterian Church required a larger building to accommodate the community of Parramatta. As a new church was built in Parramatta to replace St Andrews Presbyterian church, it decided the Church would not be demolished, but relocated "stone by stone" to its present site on McKern Street, Wentworthville in 1925. The reassembled Church was completed by 1928. The Church remains in use for religious activities.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations. X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	St Andrew’s Presbyterian Church, Federation Carpenter Gothic church, circa 1923	I264
Heritage Study	St Andrew’s Presbyterian Church, Federation Carpenter Gothic church, circa 1923	I264
National Trust Australia Register	St Andrew’s Presbyterian Church	No ID number

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, ‘Wentworth, D’Arcy (1762-1827)’, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of church hall (left) and church (right).



View of church hall (left) and church (right).



Front façade of church.



Original location in Parramatta (Source: State Library of Victoria, Kerry & Co 'St Andrews Ch. Parramatta, September 20 1932).

## Heritage Inventory Sheet

<b>Item Name</b>	Federation Period Cottage		
<b>Recommended Name</b>	Federation Cottage		
<b>Site Image</b>			
<b>Address</b>	30 Monash Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	64	4	963
<b>Draft Cumberland LEP ID</b>	I265		
<b>Former LEP ID</b>	I137 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 30 Monash Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built in c.1915, the property relates to the residential development that followed the second subdivision of the Wentworth Estate in 1912. The item retains its aesthetic significance as a small Federation period workers cottage with fine timber detailing. Although modified, the building has retained essential characteristics of the original building in scale, form and detailing. The building makes a positive contribution to the streetscape character and is readily identifiable among the historic building stock of the area.

### Criteria Assessment

a) Historic	Built in c.1915, the property relates to the residential development that followed the second subdivision of the Wentworth Estate in 1912.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item retains its aesthetic significance as a small Federation period workers cottage with fine timber detailing. Although modified, the building has retained essential characteristics of the original building in scale, form and detailing. The building makes a positive contribution to the streetscape character and is readily identifiable among the historic building stock of the area.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Federation period workers cottages built in the area.

### Physical Description

The item is a single storey weatherboard cottage on brick foundations with a bullnose verandah that extends along the front facade. The original house has a gabled roof with timber finials at either end. There is a single painted brick chimney on the eastern side of the roof. The verandah has simple timber posts, decorative timber frieze and brackets, painted corrugated iron roof sheeting and timber floorboards. A symmetrical facade to the street has a single timber and glass panelled door with single timber framed double hung windows on either side. All window openings have simple timber architraves and sills. An aluminium sliding window has been installed into an early window opening on the west. A large skillion lean-to extends to the rear and has weatherboard and fibro walls and appears to have been constructed in at least two stages. At the south western corner is a gabled extension with similar weatherboard walls, corrugated iron roof, and aluminium sliding and timber sash windows with adjustable canvas awnings.

The dwelling is located on a long narrow block and appears to retain its original subdivision boundary. The house is located close to the street alignment, with a short narrow grassed driveway on the western side. To the street is a painted timber paling fence and small cottage garden. A garden with wild bushes frames a central brick paved footpath.

The dwelling presents a well-maintained house in a good condition, with roof sheeting and the weatherboards replaced and re-clad.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- Replaced weatherboards
- Replaced corrugated roof sheeting
- Rear extension with weatherboard cladding and corrugated iron roof (extended in phases)
- Addition of adjustable canvas awnings in 1994
- An aluminium sliding windows installed into an early window opening on the west\*

Although modified, the building is considered to retain a moderate level of integrity. Significant fabric has been replaced on a like for like basis conserving the built heritage values of the item.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	c.1915
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is located on land that formerly formed part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the property formed part of 488 acres of land between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth. Wentworth began to subdivide the land from 1881, however only those blocks near the recently opened railway line were sold.

It was not until 1890 that the subject property (Lot 64 Sec.4 comprising approx. 1/4 acre), was purchased by a local bricklayer of Wentworthville, Frederick Weekes. At this time, the property is noted on Fullagar Street, later to become the present Monash Street. The property was acquired by John George Weekes in 1900, and re-subdivided in 1912 which reduced the size of the allotments. Although the exact date of construction is unknown, the cottage was most likely constructed for J. G. Weekes in the first decade of the 20th century, possibly to match the adjoining house at No. 28. Although this has since been lost as No.28 was demolished. The property was purchased by local storekeeper, Francis Dobson in 1937. Francis Dobson had a large shopfront by the railway station built in 1928. In recent years, building applications have included a brick veneer addition in 1993 and an awning in 1994.

The building remains in use as a private dwelling.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

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Other recommendations and/or comments:

- None.
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### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Cottage	I265
Heritage Study	Federation Period Cottage	I265
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
  - Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
  - Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.
- 

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

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Additional Images



Front façade and fence.



Overview of the dwelling from the street showing the western elevation.



Overview of the dwelling from the street showing the driveway.

## Heritage Inventory Sheet

<b>Item Name</b>	Inter-war shopfront with Federation influences		
<b>Recommended Name</b>	Inter-War Shopfront with Federation Influences		
<b>Site Image</b>			
<b>Address</b>	2-4 Station Street, Wentworthville NSW, 2145		
<b>Lot/Section/DP</b>	G & H	-	DP 393510
<b>Draft Cumberland LEP ID</b>	I266		
<b>Former LEP ID</b>	I138 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	August 2019		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	

	Level 2	Retail
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### Curtilage Map



### Statement of Significance

The item is of local significance for its historical, associative and aesthetic values, and as a representative example of suburban commercial architecture. The façade is significant for the evidence it provides of the early commercial development of Wentworthville in association with the development of important transport routes. This building has some associative significance as a shop leased to George Maunder who was a long-serving mayor for Holroyd. While the building has some aesthetic significance as a streetscape element, the quality of the building has been reduced by unsympathetic alterations to the shopfronts at the street level.

### Criteria Assessment

a) Historic	The item related to the early twentieth century commercial development of Wentworthville.
b) Associative	The item is associated with a notable local identity, George Maunder, a long-standing mayor of Holroyd, who had a lease at this property.
c) Aesthetic/Technical	The item has some aesthetic significance, as a streetscape element, although the aesthetic value of the building has been reduced by unsympathetic alterations to the shopfronts at the street level.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.

f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

### Physical Description

The building is a two-storey structure with face brick and Arts and Craft detailing above the awning and contemporary aluminium shop front below the awning. The suspended steel framed awning features a decorative battened underlining and corrugated steel cladding overlining. Steel rods are fixed to two rendered piers which frame face brick façade above.

Above the awning the façade is symmetrical and features two sets of timber framed casement windows with bracketed flat hood. These are surmounted by decorative frieze featuring ceramic tile and rendered details bearing the date '1929' in relief. A broken parapet with curved feature is a prominent element of the façade and conceals a sloped roof behind.

At ground floor level both shop fronts have been heavily modified with a glazed and aluminium entrance to both No. 2 and No. 4, as well as a steel roller door closing off the opening of No. 4. The rear of the building features an enclosed, skillion-roof section at ground level of brick construction with timber and aluminium windows. An uncovered terraced area is at the rear of the building with a small carport/garage area at the property boundary.

Adjacent is another pair of shops of a similar height at 6-8 Station Street (Item 107B) of rendered brick construction with Spanish Mission detailing including a central pediment, parapet mouldings and half-round hood mouldings to the windows. The two buildings as a pair positively contribute to the streetscape. A drive runs along the northern boundary of the property to access the rear.

The building is generally in a good condition although there is paint peeling to bracketed hoods on casement windows and some cracking to the parapet on the northern end of the front façade.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- Aluminium shopfront windows
- New roller doors to No. 4
- New security system
- Contemporary signage\*

The first floor of the shopfront has remained relatively intact and has high integrity, however, as the ground level has been significantly modified the shopfront is considered to be of moderate integrity.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	1929
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was

not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The urban growth and population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

Prior to the current brick buildings, the commercial structures in this location were single storey shopfronts with residences to the rear. The brick two-storey structures were developed in 1928 shortly before the adjacent Dobson House at 6-8 Station Street. Historic photos show sandstone urns decorating the end columns. Ethel Golding purchased portions of lots 4 and 5 of Station Street near the train station. After the site was developed, one of the shops was leased to George Maunder as a newsagent. Maunder was a twice-serving mayor of Holroyd, between 1941-1946, and 1951-55. The property has been sold a number of times, including subdivision of the building into two separate properties in 1955. An application for an outbuilding was made in 1994.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		[Redacted]	

5. The heritage curtilage for this item should be revised/reduced.	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	
	11. The condition of this item is poor. Condition and maintenance should be monitored.	

Other recommendations and/or comments:

- Should the opportunity arise, undertake repairs to timber elements such as windows and awning linings.
- The street facades of 2-8 Station Street should be retained intact. Impacts on one property may impact the significance of the adjacent property.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Shopfront with Federation Influences	I266
Heritage Study	Inter-war Shopfront with Federation Influences	I266
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1993	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, Wentworth, D'Arcy (1762-1827), Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Futurepast Heritage Consulting. 2015. "Statement of Heritage Impact for minor works to 4 Station Street, Wentworthville", Unpublished.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.

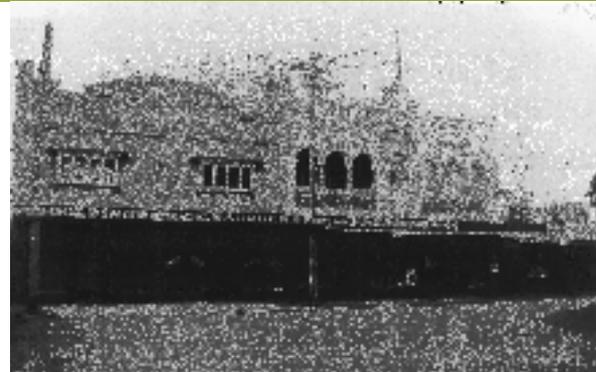
### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



Front façade and northern elevation of shopfront.



Historic photograph of Dobson House, date unknown (Source: Holroyd Heritage Study).

## Heritage Inventory Sheet

<b>Item Name</b>	"Dobson House", Federation/Inter-war period shopfront		
<b>Recommended Name</b>	'Dobson House' - Federation/Inter-War Shop		
<b>Site Image</b>			
<b>Address</b>	6-8 Station Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	1 & 2	-	DP 803586
<b>Draft Cumberland LEP ID</b>	I267		
<b>Former LEP ID</b>	I139 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Retail	

## Curtilage Map



## Statement of Significance

The façade of the shops at 6-8 Station Street, Wentworthville is of local significance as part of a group with the adjoining shops at 2-4 Station Street. The façade has historic significance as evidence of a major period of urban growth for the community of Wentworthville relating to the development of important transport routes. The shopfront has aesthetic significance through its contribution to the main streetscape, as well as its paired relationship with the adjacent property. It has Mediterranean architectural features to its façade, which is uncommon in its local context. The Station Street shop facades are one of the few remaining intact examples of early shop facades in Wentworthville.

### Criteria Assessment

a) Historic	The item represents a major period of urban growth for the community of Wentworthville relating to the development of important transport routes.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance, particularly its contribution to the main streetscape, as well as its paired relationship with the adjacent property. It has Mediterranean architectural features to its façade, which is uncommon in its local context
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

## Physical Description

The subject building, known as 6-8 Station Street, is a three-storey commercial building constructed in 1928. The original building is divided into two sections, the front and the rear. The front section is a three-storey section with painted brick parapet and sloped roof. The rear section is a deep gable-roof wing.

The front façade forms a prominent element in the streetscape. There are two ground level shops with aluminium windows and entrance however, the glazed tiling at the base has been retained. Separating the ground level and upper façade levels is a suspended metal awning. Above the awning is a central bay that is expressed forward beyond the main façade with one window in the centre. On either side of this central bay is a set of three casement windows with arched fanlight, classical columns at the join of each arch. The fanlight glazing to the central façade section, as well as to No. 6 is still intact, however, the fanlights to No. 8 have been infilled either with timber board, or painted white. The moulded rendered parapet expresses a deco style, with the central bay embossed with 1928 with a flagpole in between.

In 1998, the building was described as having corrugated iron roofing, and the brick rear and side facades and timber windows with rendered sills intact. The gable-roof rear addition has a central brick chimney, and there is a narrow verandah to the second floor of No. 6. There are a number of sheds and outbuildings across both properties.

The shops front Station Street and are separated from the road by a footpath.

The building has been well-maintained apart from some paint peeling from the upper level of the façade. The shopfront is in a good condition.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- New outbuilding elements to rear
- Aluminium shopfront windows and entrance\*
- Contemporary signage\*
- Modified cladding and signage to awning
- Fanlights to upper storey windows infilled with timber board or painted white at No. 8\*

The façade of the upper storey of the shopfront has remained relatively intact and has high integrity, however, as the ground level has been significantly modified with aluminium windows and contemporary signage, the shopfront is considered to be of moderate integrity.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents

to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The urban growth and population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

Prior to the construction of Dobson House, there were single storey commercial shopfronts with residences to the rear in this location. The current three-storey structure was built in 1928 just before the adjacent two-storey structure at 2-4 Station Street. Historic photographs show the arched windows were intended to be an open verandah, which at some stage was infilled with the current casement windows. Today, the site is still used as a commercial property.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	

		<p><b>11.</b> The condition of this item is poor. Condition and maintenance should be monitored.</p>		
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Other recommendations and/or comments:

- Should the opportunity arise, undertake repairs to timber elements such as windows and awning linings.
- The street facades of 2-8 Station Street should be retained intact. Impacts on one property may impact the significance of the adjacent property.

Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Dobson House”, Federation/Inter-war period shopfront	I267
Heritage Study	“Dobson House”, Federation/Inter-war period shopfront	I267
National Trust Australia Register	N/A	-

Previous Studies			
Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References
<ul style="list-style-type: none"> <li>▪ Auchmuty, JJ 1967, Wentworth, D’Arcy (1762-1827), Australian Dictionary of Biography.</li> </ul>
<ul style="list-style-type: none"> <li>▪ Elias, J and Coppins, S 2013, <i>Pictorial History Holroyd</i>, Kingsclear Books, Alexandria.</li> </ul>
<ul style="list-style-type: none"> <li>▪ Karskens, G. 1991. <i>Holroyd - A Social History of Western Sydney</i>. Sydney: University NSW Press.</li> </ul>
<ul style="list-style-type: none"> <li>▪ MWH 2014, Wentworthville Railway Station Statement of Heritage Impact, MWH, Sydney.</li> </ul>
<ul style="list-style-type: none"> <li>▪ Auchmuty, JJ 1967, Wentworth, D’Arcy (1762-1827), Australian Dictionary of Biography.</li> </ul>

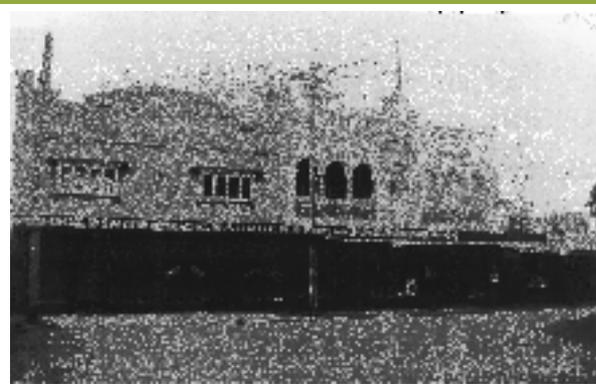
### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



Dobson House as it sits on Station Street.



Historic photograph of Dobson House, date unknown (Source: Holroyd Heritage Study).

## Heritage Inventory Sheet

<b>Item Name</b>	Memorial Fountain		
<b>Recommended Name</b>	Memorial Fountain		
<b>Site Image</b>			
<b>Address</b>	The Kingsway, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	-	-	-
<b>Draft Cumberland LEP ID</b>	I269		
<b>Former LEP ID</b>	I141 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	September 2019		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Monuments and Memorials	

## Curtilage Map



## Statement of Significance

The memorial fountain is of local significance for its associative, aesthetic, and social values, and as a rare memorial to the local area. The memorial fountain is unique and socially significant to the community of Wentworthville as it commemorates the death of notable local individuals. It is a representation of local sentiment and emotional expression towards its community members. The design and construction are uncommon and designed by architect Mr F.J. A Weller. The item's significance is enhanced by its prominent location between the commercial premises of Wentworthville town centre and the railway entrance, which serve to maximise its exposure and recognition.

### Criteria Assessment

a) Historic	The item does not meet this criterion.
b) Associative	The item is associated with the local persons specifically commemorated on the memorial, as well as to the community of Wentworthville who erected the memorial.
c) Aesthetic/Technical	The item is a unique design with a dual function as a memorial and as a public utility.
d) Social	The item is socially significant to the community as it commemorates individuals from the community, and it was erected by the community.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item is rare as a community memorial commemorating the death of specific individuals.
g) Representativeness	The item does not meet this criterion.

## Physical Description

The item is a freestanding brick memorial wall with sandstone capping surrounding a bronze plaque. The central front of the wall is tiled with a ceramic basin for the stainless-steel drinking fountain. The fountain sits on a two-step sandstone platform.

The Bronze plaque inscription reads:

Main inscription – “In memory of / Jack Walter Stanton and / James Alexander Tomlinson / who perished in the service of / God and their fellow men. / Drowned at Scarborough on / October 1, 1932. / Marked bravery was also displayed / on this occasion by Rita Tomlinson, / John Geoffrey Harper and Leo Stubbs”

Top surround – “Ho, Every one that thirsteth, come ye to the waters, buy without money and without price. Isaiah LV.1.”

Bottom Surround – “This fountain was erected by district residents / unveiled MCMXXM E.J.A. Weller ARAIA.”

The memorial is currently situated at the southern entrance to Wentworthville Railway station. The memorial has been reinstalled and remounted, likely to accommodate the railway TAP modifications. It has been relocated and reinstalled from its exact original position. A new brick wall has been constructed and is now shorter in length with two nib walls (presumably using the salvaged brick and sandstone from the truncated length) have been added to the memorial wall dividing it into three sections. The memorial has been retiled and framed and a new fountain tap has been added. The bronze plaque has been conserved.

The Memorial Fountain has been well maintained and is in a good condition.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

In c. 2014, the Memorial Fountain was relocated from original location adjacent Wentworthville Railway station to current location. The memorial has some modifications as a result of relocation:

- Memorial wall shorter in length
- Two nib walls added
- New tiling and framing to centre.
- New brick wall
- New fountain
- Polished concrete framing around bronze plaque

Although there have been significant modifications to the memorial including a new brick wall, new tiling and fountain tap, the modifications are sympathetic to the original heritage values of the memorial. The Memorial fountain has moderate integrity.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	1932
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### Wentworthville

In 1819, after European settlement, the Wentworthville area came under the tenure of D’Arcy Wentworth. In accordance with normal custom, Wentworth’s salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta

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from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

In 1910, Wentworthville was again subdivided into Girraween. The suburb was created by real estate developer Arthur Rickard of Arthur Rickard & Co. Ltd who began subdividing the area near Toongabbie station during WWI. In this period, Pendle Hill, a locality within Wentworthville became a suburb changing its name from Wentworthville West to Pendle Hill in 1917. After the 1919 Local Government Act, all subdivisions had to be approved by local councils who examined their allotment sizes, layouts, and streets. Only when the location on a hilltop made a grid pattern subdivision undesirable did surveyors and promoters deviate from the norm, such as Dorothy Mount in Wentworthville (subdivided in 1916) and the Constitution Hill Estate (subdivided in 1924). Pendle Hill was another new subdivision that opened in 1927 and rapidly grew in popularity for its neat cottages and attractive gardens.

### **Memorial Fountain**

The item commemorates the drowning death of two boys at Scarborough Beach, north of Wollongong, on 1 October 1932. On this day, a small Sunday School party of five teachers and sixteen students from St. Pauls Wentworthville went on a surfing excursion to Scarborough when two of the party got into difficulties in the surf. Jack Stanton (aged 22, of Dunmore Street) and James Tomlinson (aged 16, of Smith Street) entered the surf to assist and were drowned. Their bodies were washed ashore two weeks later. A service for the two men was given at St Pauls Wentworthville on 16 October 1932.

The construction of the memorial was largely a voluntary effort, with much of the funds locally donated, and materials and labour for the construction also reducing the final cost to around £70 if not for the donation of locals. The memorial may have originally had surrounding landscaping, which has long since been removed. The unveiling of the memorial was a largely celebrated local event.

### **Architect – E.J. A. Weller**

Edward James Archibald Weller born in Warragul, Victoria in 1903 was an established modernist Australian Architect based initially in NSW before he moved to Queensland. Between 1918 and 1924 he was employed in an architect's office in Sydney, 'G.C Thomas and F.G Briggs' and also worked in an office of Walter Burley Griffin. He became fully registered Architect in Queensland in 1929. Prior to that he was employed by the Sydney Municipal Council for the construction of Bunnerong Power Station.

In 1966 E J Weller opened the Design Arts Centre in Brisbane which exhibited 'furniture, sculpture, pottery, paintings, glassware, jewellery, handweaving and woodwork. Its primary aim was to provide a showplace for local artists and craftsmen whose skills might otherwise be unknown. Weller's commitment to the promotion of art and local craftsmanship through the centre resulted in an invitation to become President of the Royal Queensland Art Society in 1954 and led to his election as Vice-President of the Queensland Division of the Craft Association of Australia in 1971.

A precursor to the Design Centre was the Brisbane Building Centre (Pty Ltd) located in the basement of the AMP building in Brisbane. First opened in 1935, the centre was also established by Weller. Modelled on the Building Centre in London, it was a commercial venture, with the aim to promote "better building through the attractive display of modern products". To this end, the centre offered customers access to a "service bureaux" where they could find information on modern materials and building processes.

E. J. A. Weller passed away in 1979, in Brisbane. He is remembered for many achievements, notably becoming the President of the Royal Australian Institute of Architects in 1954, the past President of the Queensland Chapter and for his associated with the Department of Public Works in Brisbane.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- The fountain should be made operable if it is not at present.

Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Memorial Fountain	I269
Heritage Study	Memorial Fountain	I269
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- The Mail, Saturday 1 October 1932, page 1. “Man and Boy drowned in breakers. Girl loses brother and sweetheart. Picnic tragedy.”
- Sydney Morning Herald, Saturday 22 October 1932, Page 17. “Scarborough Tragedy”
- <http://monumentaustralia.org.au/themes/people/tragedy/display/99824-jack-stanton-and-james-tomlinson>
- Auchmuty JJ 1967, *Wentworth, D’Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, *Pictorial History Holroyd*, Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014, *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Detail of Memorial Plaque.



Memorial as it is currently situated at Wentworthville Railway Station.



Location of the Memorial Fountain prior to relocation. (Source: MWH 2014, p. 34).



Memorial Fountain prior to relocation. The item was located outside Kingsway access to Wentworthville railway station (Source: MWH 2014, p. 33).

## Heritage Inventory Sheet

<b>Item Name</b>	Wentworthville Railway Station		
<b>Recommended Name</b>	Wentworthville Railway Station Group		
<b>Site Image</b>			
<b>Address</b>	The Kingsway, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	100	-	1042344
<b>Draft Cumberland LEP ID</b>	I268		
<b>Former LEP ID</b>	I140 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Transport - Rail	

## Curtilage Map



Revised curtilage recommended – refer below

## Statement of Significance

Wentworthville Railway Station is of local significance for its historic, aesthetic, social, scientific and representative values. The site of Wentworthville Railway Station is of historical significance through its relationship to the development of the suburb of Wentworthville following the Wentworth Estate Subdivision and the original station's funding by land speculators. The present railway station redevelopment took place during the quadruplication of the Main Western Line between Parramatta and Blacktown in 1946. This group of buildings also shows the effects of war time financial constraints. The station buildings are of aesthetic significance as good examples of mid-twentieth century railway construction in an urban context, displaying distinctive elements of Inter-War Stripped Functionalist style including the use of bonded brickwork, Art Deco influenced parapet detailing, strong horizontal planes and steel awnings. The style is competently executed, displaying many typical stylistic elements of similar station buildings throughout the Western suburbs generally. The place has the potential to contribute to the local community's sense of place and can provide a connection to the local community's past. The station is of the same construction as those of the neighbouring stations Pendle Hill and Toongabbie. The station buildings provide opportunities together with Toongabbie, Pendle Hill and Seven Hills stations to study and understand mid-20th century building techniques.

## Criteria Assessment

a) Historic

The site of Wentworthville Railway Station is of historical significance through its relationship to the development of the suburb of Wentworthville following the Wentworth Estate Subdivision and the original station's funding by land speculators. The present railway station redevelopment took place during the quadruplication of the Main Western Line between Parramatta and Blacktown in 1946. This

	group of buildings also shows the effects of war time financial constraints.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The station buildings are of aesthetic significance as good examples of mid-twentieth century railway construction in an urban context, displaying distinctive elements of Inter-War Stripped Functionalist style including the use of bonded brickwork, Art Deco influenced parapet detailing, strong horizontal planes and steel awnings. The style is competently executed, displaying many typical stylistic elements of similar station buildings throughout the Western suburbs generally
d) Social	The place has the potential to contribute to the local community's sense of place and can provide a connection to the local community's past.
e) Scientific	Wentworthville Railway Station is of technical significance for its ability to demonstrate design and construction techniques of the mid-20th century railway structures. The station buildings provide opportunities together with Toongabbie, Pendle Hill and Seven Hills stations to study and understand mid-20th century building techniques.
f) Rarity	The item does not meet this criterion.
g) Representativeness	Wentworthville Railway Station is a representative example of a small, mid-20th century railway station that is designed in the Inter War Stripped Functionalist style in an urban context, similar to Toongabbie and Pendle Hill Railway Stations. The footbridge was identified as an item of moderate heritage significance in the comparative analysis from the 2016 'Railway Footbridges Heritage Conservation Strategy'.

## Physical Description

The following physical description has been quoted from the NSW Office of Environment and Heritage State Heritage Inventory listing sheet for 'Wentworthville Railway Station', last updated in 6 April 2009. As the description features a comprehensive physical description of both external and internal station elements, only minor amendments were made with regards to recent stations upgrade.

Wentworthville Railway Station was upgraded as part of Transport for NSW's Transport Access Program (TAP) between 2016-2017. The station precinct features a contemporary overhead concourse providing improved station accessibility and safety. The concourse is accessed via lift and stairs, and features platform canopies that extend from the concourse and along the platform entries. Other contemporary additions to the station precinct include lighting, signage, seating, opal machines, and bins.

### STATION BUILDING PLATFORM 1/2 (1943)

*External: The station buildings are identical to those at Toongabbie and Pendle Hill Railway Stations. The building on Platform 1/2 is larger than Platform 3/4 building and is a post war Functionalist style railway building. It is of face brick construction with low pitched gabled roof and brick parapets at each end with courses of recessed heeler bricks capped by a course of bullnosed bricks. The eastern end of the building is defined by a curved masonry bay with a single door. Centrally located on each parapet is an Art Deco style projecting vertical masonry fin constructed of heeler bricks in a contrasting colour. The parapets step down on each side from the fin. The roof is clad with Colorbond, which extends as an awning on all four sides of the building. The awning on the western end, which provides shelter to passengers purchasing tickets from the ticket window and the machine, is supported by two rectangular brick columns with curved corners. On Platform 1/2, one ticket window remains in use while the other is bricked up. Steel framed windows with three horizontal hopper panels (central panel fixed) are vertically proportioned and placed regularly on both platform elevations. A contemporary canopy connects the building from the underside of the original awning to the stairs and footbridge.*

Note. The existing stairs from the footbridge were removed as part of the 2017-2017 TAP Upgrades.

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*Internal: Internally the building has a linear floor layout with series of rooms in various sizes including combined former booking/parcels office (now booking office and staff area) with storeroom, general waiting room, ladies room and toilets, men's toilets with a store room in the curved bay. The doors are secured by metal grill gates while the windows covered with security mesh. The entire original interior fit-out has been removed.*

### **STATION BUILDING PLATFORM 3/4 (1943)**

*External: The station building on Platform 3/4 is approximately half the size of the Platform 1/2 building featuring the same detailing and architectural style with the exception of the curved bay on one end. It is of face brick construction with low pitched gabled roof and brick parapets at each end with courses of recessed heeler bricks capped by a course of bullnosed bricks. Centrally located on each parapet is an Art Deco style projecting vertical masonry fin constructed of heeler bricks in a contrasting colour. The parapets step down on each side from the fin. The roof is clad with Colorbond which extends as an awning on all four sides of the building. The awning on the western end, which provides shelter to passengers purchasing tickets from the ticket machine, is supported by two rectangular brick columns with curved corners. The building had two ticket windows, which are now blocked. Early timber doors are extant. The standard steel framed windows with three horizontal hopper panels (central panel fixed) are vertically proportioned and placed regularly on both platform elevations between the solid timber doors. A contemporary canopy connects the building from the underside of the original awning to the stairs and footbridge.*

*Internal: Internally the building has a linear floor layout consisting of a booking office, waiting room and out of room. The doors are secured by metal grill gates while the windows are covered by security mesh. The building is currently used for storage purposes. The internal finishes are the same as the other platform building with plasterboard panelled ceilings, hardboard flooring (booking office) and tile flooring (waiting room). The out-of-room has a metal sliding loading door and concrete floor.*

### **PLATFORMS (1943)**

*Both island platforms have brick faces with concrete deck and asphalt surfaces. Platforms 1/2 also have sections of steel rail post and brick panel. Modern aluminium palisade fencing, timber bench seating, lighting and signage are located on both of the platforms.*

### **FOOTBRIDGE (1941)**

*The footbridge is a steel beam structure with concrete deck and RSJ steel supports over the platforms and main lines with stairs to each of the platforms, and a ramp to street level on each side. It is of a simple structure with no ornamentation representing economic policies of the time. The footbridge and associated stairs and ramps are covered with corrugated metal awnings.*

The TAP Upgrades substantially altered the existing footbridge with the incorporation of anti-throw screens within canopies to the full length of the footbridge, the widening of the concourse area with lift landing areas, and on the live rail side of the stairs to both The Kingsway and Wentworth Ave and the removal of stairs and associated structures to platform and incorporation of new roof canopies along the platform.

### **MOVABLE ITEMS**

*Plaque – brass, Centenary of the opening of the railway to Wentworthville 1 August 1885*

*Cast iron Ajax safe fixed to a concrete base in the booking office and a hidden floor safe which may, or may not be an early variety.*

*Booking office machine (BOM) including dispenser, computer, monitor, keyboard and associated equipment such as plastic coin trays etc*

*Small timber coin tray / box*

*Platform 3-4: SRA decal / sticker on platform ticket window, two pairs of metal door protectors / guards attached to doorways to parcels office, the booking office on Platform 3-4 has an original built in timber counter.*

### **POTENTIAL ARCHAEOLOGICAL FEATURES**

*Wentworthville Railway Station has low archaeological potential with no evidence of the 1920s station buildings remaining.*

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Wentworthville Railway Station is a highly active station and presents a well maintained and operational site. The condition of the built elements is considered good.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- The internal fitout of the station building
- Replaced roof sheeting to station building
- The Kiosk (built in c1954) was demolished in 2016
- Major station TAP upgrade completed between c.2016-2017\*

While the TAP upgrade has substantially remodelled the site, key elements within the precinct remain relatively intact and representative of the core heritage values of the site. The integrity is considered to be moderate.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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\* *element detracts from the overall cultural significance of the place*

### Historical Notes

Construction years	1943-1946
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony. He appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today.

The railway line was opened in 1860 and duplicated in 1886, with Wentworthville opening in 1883 as T R Smiths' Platform. The name Wentworthville was adopted in 1885 after Darcy Wentworth, whose grant was located on both sides of the railway. The station serviced a subdivision of this estate and was paid for by the speculators. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The first station buildings on the site were built in 1924, though they were removed for the construction of the present brick station buildings, dating from the time of the quadruplication of the line in 1946. The existing buildings follow the Inter-War Stripped Functionalist style and were part of the line quadruplication project between Lidcombe and St. Marys.

The pedestrian bridge dates from 1944 and is formed by steel beams. The use of ramps instead of footways was a common feature of footbridges between 1930 and 1960.

The station precinct was substantially altered in 2016-2017 with the Transport for NSW's TAP Upgrade program which saw the footbridge widened and enclosed with a new concourse area atop the station. Other new features included the reroofing of canopies extending from the concourse area to the station buildings and the introduction of lifts from the street elevation to concourse and from the concourse to the platform.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- The heritage curtilage should be revised to include the entire station precinct and align with the curtilage supported by RailCorp and Sydney Trains on their Section 170 Heritage and Conservation Register. The heritage curtilage shown below should be considered as a revised curtilage for the Cumberland LEP. The revised curtilage recommended forms part of the current Lot/DP.



### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Wentworthville Railway Station	1268
Heritage Study	Wentworthville Railway Station	1268
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.
- NSW Office of Environment and Heritage, State Heritage Inventory listing sheet for 'Wentworthville Railway Station'.
- NSW Government Architect's Office Heritage Group. 2016. 'Railway Footbridges: Heritage Conservation Strategy', prepared for Sydney Trains.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

### Additional Images



View of railway station from Wentworth Avenue.



View of platform building from bottom of footbridge stairs.



Overview of footbridge.

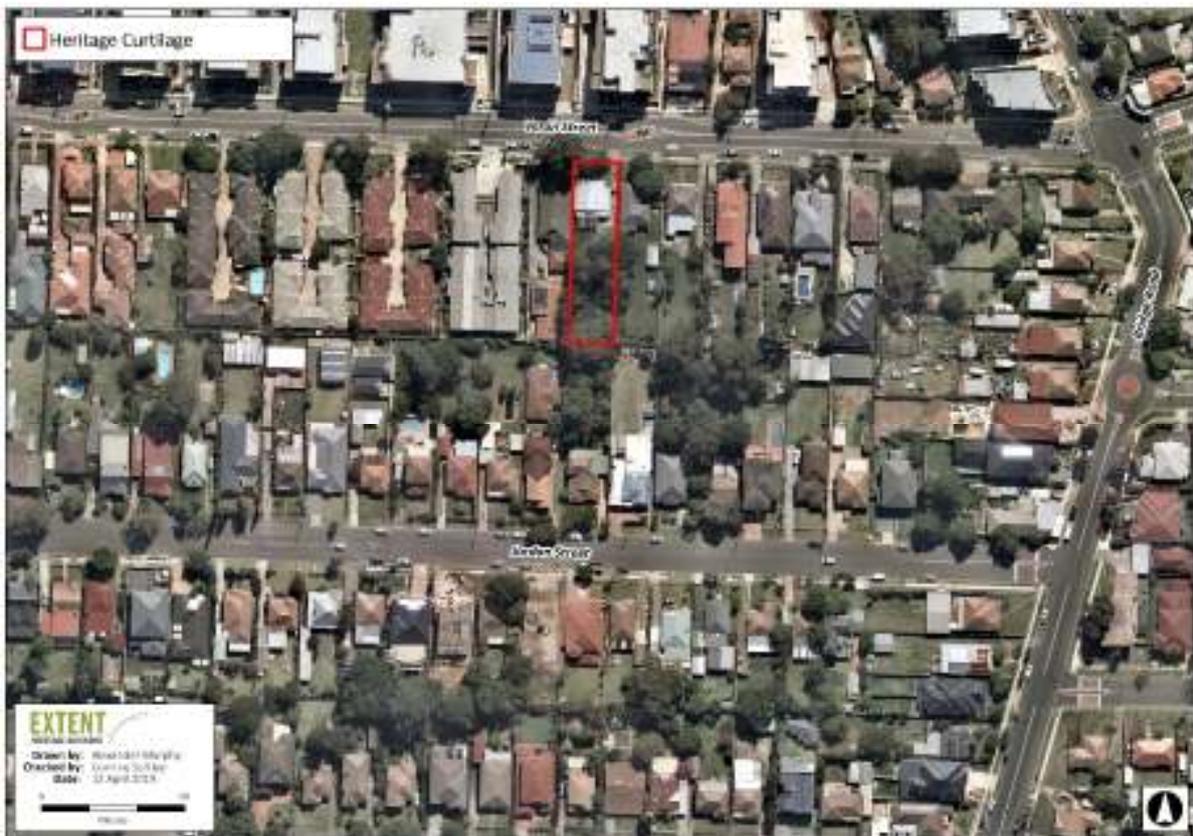


Detail of platform end ramp.

## Heritage Inventory Sheet

<b>Item Name</b>	Inter-war Bungalow		
<b>Recommended Name</b>	Inter-War Californian Bungalow		
<b>Site Image</b>			
<b>Address</b>	16 Veron Street, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	34A	-	302430
<b>Draft Cumberland LEP ID</b>	I270		
<b>Former LEP ID</b>	I142 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 16 Veron Street, Wentworthville is locally significant for its aesthetic and representativeness values. Built c.1924, the dwelling is a largely intact Inter-War Californian Bungalow. The building retains much of its original architectural detailing and is now a rare architectural style within a highly modernised residential streetscape of Veron Street. The building has an unusual streetscape character with the wide sweeping gable, deep setback and mature trees.

### Criteria Assessment

a) Historic	The item does not meet this criterion.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling is a largely intact Inter-War Californian Bungalow. The building retains much of its original architectural detailing and is now a rare architectural style within a highly modernised residential streetscape of Veron Street. The building has an unusual streetscape character with the wide sweeping gable, deep setback and mature trees.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The dwelling is representative of a Federation period Californian Bungalow

## Physical Description

The house is a single storey structure of hardiplank weatherboards with a wide low-pitched gable roof and an open front verandah. The roof consists of profiled steel sheeting and has a single rendered masonry chimney on the eastern side. The verandah has a separate gable roof with timber shingles at the gable end. The verandah is supported by pairs of timber posts on tapered rendered masonry piers at each end, with two central tapered timber posts on smaller piers. The verandah has a solid timber frieze, an infilled timber paling balustrade and floorboards. The front facade facing the verandah has stained horizontal pine boarding and a central door opening. The set of paired timber casement windows on the front facade either side of the verandah have leadlight infill. The windows and verandah post detailing are original. A hardiplank skillion roofed section extends the width of the rear façade has two single door openings and a small window opening. A wide timber pergola and deck is also located at the rear of the house.

The former listing sheet notes:

*'Internally the building has timber boarded floors with a mixture of carpet and vinyl floor coverings, and decorative plaster ceilings with Art Deco motifs. The living room has an exposed face brick fireplace and cast iron fireplace surround.'*

A concrete driveway runs along the eastern boundary and leads to a small garage with fibre cement sheet cladding and concrete tile clad roof. The item contains several established and mature trees. The deep setback and vegetation are a stark contrast to the surrounding residential high-rise development along Veron Street. The property appears to have retained its original subdivision boundary.

The item is a well-maintained property and is in good condition overall.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- The house has been reclad in hardiplank and pine boarding to front facade
- Replaced timber balustrade infill and floorboards to verandah
- Replaced roof sheeting
- New paint scheme
- Rear skillion addition

The building retains its scale, form and some key detailing. Overall, the integrity of the item is considered moderate.

<b>Integrity</b>	High	<b>Moderate</b>	Low
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*\* element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c1924
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents

to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The dwelling was originally part of the 1065 acre Government Domain. The subject property formed part of land granted to William Fullagar in 1859, who acquired extensive tracts in the present day Westmead and Wentworthville, particularly during the subdivision of the Government Domain. In 1913 approximately 89 acres were purchased by Charles Veron, grazier, who subsequently subdivided in 1914 and formed Veron Avenue.

Lots 33 and 34 of the subdivision, totalling almost 1/2 acre, were purchased by Annie Roberts in 1917, and James and Isabella Vine in 1920. The subject property (Lot 34) was individually purchased in 1922 by Frederick Daw, poultry farmer, who was to reside at the property until 1970. Daw first appears in the Sands in 1924 and Vine in 1923, indicating that the house was constructed for Daw after subdivision by Vine. Vine resided at the adjacent property (lot 33) until at least 1933. The property was purchased by John and Mary Stone in 1970. Works were carried out to the building in 1982/3. Property was purchase by John and Jenny Haub in 1985. Applications for building works have included a garage in 1950, pergola in 1988 and pool in 1995. The building remains in use as a private residence.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Bungalow	I270
Heritage Study	Inter-war Bungalow	I270
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

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- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling from Veron Street.



Detail of verandah.



Detail of window style and glazing.

## Heritage Inventory Sheet

<b>Item Name</b>	"Dalremos", Federation/Queen Anne Bungalow		
<b>Recommended Name</b>	'Dalremos' - Federation Bungalow		
<b>Site Image</b>			
<b>Address</b>	44 Veron Street, Wentworthville, NSW 2145		
<b>Lot/Section/DP</b>	26B	-	321872
<b>Draft Cumberland LEP ID</b>	I271		
<b>Former LEP ID</b>	I143 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 44 Veron Street, Wentworthville is of local significance for its historic and aesthetic values. Built in c.1923, the building relates to the residential development of Wentworthville that followed the subdivision of Government Domain and William Fullagar's land grants. The item is aesthetically significant as a fine and largely intact example of a Federation bungalow that retains typical period detailing. The dwelling makes a strong contribution to the streetscape and is readily identifiable as part of the historic building stock.

### Criteria Assessment

a) Historic	Built in c.1923, the building relates to the residential development of Wentworthville that followed the subdivision of Government Domain and William Fullagar's land grants.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item is aesthetically significant as a fine and largely intact example of a Federation cottage, that retains typical federation period detailing. The dwelling makes a strong contribution to the streetscape and is readily identifiable as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

## Physical Description

The item is a single storey face brick cottage in the Federation style. The building features a hipped roof clad in terracotta tiles and gabled wings extending to the north (street frontage) and east. The roof has a face brick chimney with a terracotta chimney pot on the eastern side. The gable ends are half timbered and rough cast rendered, with a set of triple casement windows with coloured dimple glass high lights, painted sills and a fixed timber bracketed awning. The walls are face brick with the front façade showing evidence of tuck pointing. A recessed verandah wraps around the northeast corner and is supported on a pair of timber posts with simple timber brackets and a decorative infill between the posts. There is a simple timber posted balustrade. The front door adjacent the north gable wing is timber and glass panelled. A similar triple casement window with coloured glass high lights is adjacent. The second door at end of the east verandah is partially glazed. There is a small, low-scale addition to the rear.

The property is located on a standard suburban block. There is no landscaping at the front as the entire front section is covered by a concrete slab and used as car parking. An extension of the concrete driveway on the west leads to a single garage at the rear of the property. The garage has a new aluminium roller door. There are, however, a number of mature trees located along the street verge and rear boundaries. A low timber picket fence to the street alignment is later addition in a sympathetic style. The property appears to retain its original subdivision boundary.

Overall the condition of the building appears to be good, with evidence of repointing of mortar joints along the front façade and below the windowsills on the western elevation.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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## Alterations and Additions

- The roof may have been retiled
- Rear addition
- Tuck pointing to street facade repointed in c.1990s
- Timber balustrade may have been replaced
- Timber picket fence added

Overall the integrity of the building is considered to be high with minor alterations made to the built fabric and landscape.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years	c.1923
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The subject property formed part of the 1065-acre Government Domain, that was later acquired by Fullgar. In 1913, approximately 89 acres were purchased by Charles Veron, a grazier, who subsequently subdivided the area in 1914, forming Veron Avenue. Lot 26 of the subdivision was purchased by Alfred Giggs, a fire brigade employee, in 1914. The land was subsequently purchased by George Winterton in 1917, and Charles and Lilly Lawson in 1919. E Lawson is first listed in the Sands Directory in 1923, Lot 26B, forming the subject site, was individually purchased by Leslie James Lawson in 1928. Applications for building work included garages in 1950 and 1991, an addition in 1991, and an awning in 1992. The dwelling remains in use as a private residence.

Recommendations				
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height). X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements). X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, the concrete landscaping around the base of the building should be removed and replaced with a more permeable material to ensure the building is protected from rising damp.

### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Dalremos”, Federation/Queen Anne Bungalow	I271
Heritage Study	“Dalremos”, Federation/Queen Anne Bungalow	I271
National Trust Australia Register	N/A	-

### Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

### Other References

- Auchmuty, JJ 1967, ‘Wentworth, D’Arcy (1762-1827)’, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

### Limitations

- Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
- Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
- Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of dwelling from Veron Street.

## Heritage Inventory Sheet

<b>Item Name</b>	Federation/Queen Anne Bungalow		
<b>Recommended Name</b>	Federation Cottage		
<b>Site Image</b>			
<b>Address</b>	57 Veron Street, Wentworthville NSW 2145		
<b>Lot/Section/DP</b>	1	-	1063853
<b>Draft Cumberland LEP ID</b>	I272		
<b>Former LEP ID</b>	I144 (Holroyd LEP)		
<b>Heritage Conservation Area</b>	Not included		
<b>Date Updated</b>	February 2020		
<b>Significance Level</b>	LOCAL		
<b>Site Type</b>	Level 1	Built	
	Level 2	Residential Buildings (private)	

## Curtilage Map



## Statement of Significance

The dwelling at 57 Veron Street, Wentworthville is of local significance for its historic and aesthetic values. Built c.1920-23, the building is historically linked with the residential development of the area that followed the major subdivision of the Government Domain and William Fullagar's land grant. The building has aesthetic significance as a Federation cottage with a variety of materials and fine decorative detailing with Queen Anne influences. Of particular note, is the use of weatherboard cladding to resemble masonry blockwork, the varied roofline and strong decorative theme. The deep setback adds to the visual prominence of the house within the street. Although the house has been closed in by later medium density subdivisions and developments, it still retains a strong presence in the street.

## Criteria Assessment

a) Historic	Built in c.1920-23, the building is historically linked with the residential development of the area that followed the major subdivision of the Government Domain and William Fullagar's land grant.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The building has aesthetic significance as a Federation cottage with a variety of materials and fine decorative detailing with Queen Anne influences. Of particular note, is the use of weatherboard cladding to resemble masonry blockwork, the varied roofline and strong decorative theme. The deep setback adds to the visual prominence of the house within the street. Although the house has been closed in by later medium density subdivisions and developments, it still retains a strong presence in the street.

d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

### Physical Description

The item is a single storey cottage in the Federation style with a gabled hip roof of cement tiles and a broken back verandah to three sides (the south, east and west). The roof has a rendered masonry chimney on the eastern side. The dwelling features an unusual wall cladding that is profiled to resemble blockwork, and further manipulated to resemble rough cut profile quoins on the corners. The verandah has two gabled returns to the south and a southeast chamfered corner and is supported on timber posts set on rendered masonry piers on a concrete floor with tiles. A decorative geometric valance runs the length of the verandah, except where removed along the western edge and a metal carport is attached. The eastern end of verandah has been partially infilled with rendered masonry and extends past verandah line with a new skillion roof of similar tiles. Gable ends to the verandah have diamond motif and decorative barge boards. The floor of the verandah is concrete. The front facade is symmetrical, with a central timber and glass panelled door with side and top lights. Timber framed casement windows grouped in fours with feature coloured glass top and bottom panes. Top lights and rendered sills are located on either side of the door. An original timber and glass panelled French door and top light is located on the chamfered corner. The door openings on the western elevation have aluminium security grilles. The rear has been extended with skillion and flat roofed additions, with rendered masonry walls and steel roof sheeting.

The cottage retains a deep setback from the street. There is minimal landscaping to the front. There are two tall palm trees located to the east and west side of the recently rendered garden bed fronting the verandah. The property is bounded by a high steel loop and palisade fence. The railway line to the rear is elevated and screened by tall plantings. The dwelling is situated next to a large residential development to the east and a single storey residence to the west.

Overall, the condition of the building appears to be good and well maintained. All timber elements appear to feature a fresh coat of paint and in a good condition.

<b>Condition</b>	<b>Good</b>	Fair	Poor
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### Alterations and Additions

- Enclosed portion of the eastern verandah
- Rear skillion and flat roofed extensions
- Carport attached to the western elevation
- Diamond motif to gable end does not appear to be original
- Garage added in 1984
- Carport added in 1985
- Pergola added in 1991

Overall the building appears to have high integrity, although slightly modified. The building retains scale and form and has not been adversely impacted by the rear additions.

<b>Integrity</b>	<b>High</b>	Moderate	Low
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\* *element detracts from the overall cultural significance of the place*

## Historical Notes

Construction years | c.1920-23

In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

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The subject property formed part of the 1065 acre Government Domain and land acquired by William Fullagar. In 1913 approximately 89 acres were purchased by Charles Veron, grazier, who subsequently subdivided in 1914 and formed Veron Avenue. Lots 21-22 & 41 were purchased by Michael Wasilowski, a local carpenter, in 1917. Part lot 21 was later purchased by Joseph James Smith, a labourer, in 1920. It would appear the house was constructed shortly after, as Smith is first listed in the Sands in 1923. Smith is listed in the Sands Directory until 1933.

The present property boundaries were formed in 1943, when the property was purchased by Garey Elliott. A section of land at the rear was resumed by the railway at this time. Mark Bullivant purchased the property in 1984. Applications for building work were for a pool in 1975, garage and awning in 1984, carport in 1985, and pergola in 1991. The building remains in use as a private residence.

## Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	

4. Consider additional research to nominate this item for the State Heritage Register.	9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	[Hatched area]
5. The heritage curtilage for this item should be revised/reduced.	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
[Hatched area]	11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

#### Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
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### Additional Images



View of dwelling from entry to driveway along Veron Street.



View of dwelling and boundary fence from Veron Street, showing medium density development adjacent to the site (right).



View along Veron Street, showing medium density development in the background.