


Heritage Inventory Sheet

Item Name	Federation Bungalow		
Recommended Name	Federation Bungalow / Former Malabar Private Hospital		
Site Image			
Address	3 Bennett Street, Wentworthville, NSW 2145		
Lot/Section/DP	43	-	7330
Draft Cumberland LEP ID	I249		
Former LEP ID	I105 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 3 Bennett Street, Wentworthville is locally significant for its historic and aesthetic values. Although built c.1924 as a private residence, the building is historically significant as the first private community hospital in the area, previously known as Malabar Private Hospital. This hospital operated from the 1930s until 1946. The dwelling has some aesthetic significance as an intact Federation bungalow that, although modified, retains much of its original and significant fabric.

Criteria Assessment

a) Historic	The item is historically significant as the first private community hospital in the area, known as Malabar Private Hospital, which operated from the 1930s until 1946.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has some aesthetic significance as an intact Federation bungalow that, although modified, retains much of its original and significant fabric.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The dwelling is a single storey L-shaped residence of weatherboard Federation style construction. It features a hipped roof clad in Colorbond sheeting with a gable roof bay extending towards the street. The gable end has a battened fibro sheeting and a decorative ventilator panel. A verandah extends around the front, eastern and western sides and has a low-pitched skillion form clad with Colorbond sheeting supported on pairs of timber posts on single skin painted brick piers with brick balustrade. It features a solid timber valance around its full perimeter and exposed timber rafters. The eastern side of the verandah has been infilled with battened fibre cement sheeting and has modern aluminium sliding windows, however the original timber work to the verandah appears to remain intact. It would appear the verandah was originally used as outdoor rooms for the hospital. The front facade features a timber and glass panelled door which appears to be original, with glazed side lights. It is flanked by a timber framed double hung window on either side, with deep profiled architraves. There is a flat roofed weatherboard extension at the rear of the property.

The dwelling features a deep setback and is positioned below the streetscape level with a grassed embankment along Bennett Street. The dwelling is also partially obscured by mature plantings of little heritage value. An unsealed driveway runs along the eastern side of the dwelling.

The condition of the building is good, although the roof sheeting is worn and there are some deteriorated timber panels on the ventilator at the gable end.

Condition	Good	Fair	Poor
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Alterations and Additions

- The verandah supports appear to have been altered, and the brick piers added. The eastern section of the verandah has been enclosed with fibre cement sheeting and modern aluminium windows installed*
- Flat roof weatherboard extension at the rear of the house
- The roof sheeting replaced c.1990s
- Dwelling divided into four flats on the interior*

Although modified, the building retains its scale and form as well as original detailing along the verandah. The verandah infill is considered to be intrusive. The buildings integrity is considered to be moderate.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c.1924
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station slowly attracted residents to the area, and Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The urban growth and rise in population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

In 1917, the present site was transferred to Frederick Jenner. It is at this time that the name Bennett Street was first used. In 1924 the property was transferred to John Johnson. It seems that the house was constructed by this time as the Sands Directory lists Johnson as a resident from 1925. In 1930 the property was bought by May Thomas who was wife to the Post Master at Wentworthville. The building was once a private hospital, run by Miss A. Ricketts in the 1930's and called "Malabar Private Hospital". It is reputedly the area's original community hospital. From 1946 onwards, the property was sold several times before the current owners purchased it. It has since been divided into four flats and remains in use as private residential spaces.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- The verandah infill is considered to be intrusive and should be removed to reinstate the original verandah form.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Bungalow	I249
Heritage Study	Federation Bungalow	I249
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of front elevation from entry gate.




View along eastern (side) elevation, showing landscaping and unsealed driveway.



View of verandah from the street.

Heritage Inventory Sheet

Item Name	"Yoorooga", late Victorian cottage		
Recommended Name	'Yoorooga' - Late Victorian Cottage		
Site Image			
Address	54 Bridge Road, Westmead NSW 2145		
Lot/Section/DP	1	-	418951
Draft Cumberland LEP ID	I250		
Former LEP ID	I107 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	September 2019		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

“Yoorrooga” is of local significance for its historic and aesthetic values. Although the exact date for construction is unknown, the dwelling was likely built between 1876-1900, possibly as a residence associated with the Fullagar Estate. The dwelling may be one of the earliest remaining houses located on Bridge Road, which was an early road established as part of the first subdivision of the Government Domain in 1859-61. Resources also suggest that the dwelling may have also been constructed as the city residence of a former Mayor of Dubbo. Although modified, the dwelling retains aesthetic significance in its external detailing and, situated on a prominent street corner, makes a notable contribution to the character of Bridge Road generally.

Criteria Assessment

a) Historic	Although the exact date for construction is unknown, the dwelling was likely built between 1876-1900, possibly as a residence associated with the Fullagar Estate. The dwelling may be one of the earliest remaining houses located on Bridge Road, which was an early road established as part of the first subdivision of the Government Domain in 1859-61. Resources also suggest that the dwelling may have also been constructed as the city residence of a former Mayor of Dubbo.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	Although modified, the dwelling retains aesthetic significance in its external detailing and, situated on a prominent street corner, makes a notable contribution to the character of Bridge Road generally.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.

f) Rarity	The item does not meet this criterion.
g) Representativeness	Due to a series of alterations, the item does not meet this criterion..

Physical Description

The item is a large sandstock brick house, with walls set in a flemish bond pattern on a sandstone base. The roof features a steep hipped roof clad in concrete tiles and two face brick chimneys on either side with their terracotta chimney pots. An early weatherboard extension at the southeast corner of the dwelling features a hipped roof that extends from the main roof and is clad in the same tiles. The verandah extends from the main roof along the northern and eastern sides of the dwelling and is supported by cast iron posts. The verandah features a raked ceiling, exposed timber rafters, fibro cladding, and a ceramic tiled floor. The front façade features a modern timber and glass panelled door in the centre with an aluminium security screen door, flanked either side by windows. The fanlight to door has the name "Yoorooga" etched on glass, as does the adjacent brass plaque. The windows on the northern and eastern elevations are timber framed double hung with segmental arched heads, sandstone sills and timber shutters. The weatherboard extension has a projecting bay with pairs of double hung multi-paned windows with profiled architraves. The second door is a later addition. The weatherboards along the eastern elevation are stained and painted brown.

A brick skillion at the rear appears to be original or very early and is constructed in similar sandstock bricks on a stone base with a corrugated iron roof. The large windows to the rear are not original. Later additions to the rear include a second smaller brick lean-to and a concrete platform and ramp. A driveway along the western boundary leads to a fibro double garage.

The dwelling is located on a large corner block and forms a prominent element in the streetscape. The building features a deep setback and a highly vegetated landscape at the southeast corner of the property, as well as along the northern and western elevations. There is no boundary fence, though the site had a timber picket fence followed by a brick boundary fence, both of which have been removed. An established conifer and various other mature plantings remain.

Overall, the condition of the building is considered to be poor. The building appears to have substantial water issues with high vegetation growth over the roof and chimney, and no guttering. There are sections of exposed brickwork that are weathered, with some bricks badly eroded. Paint is severely flaking from the southern wall of weatherboard extension, and there is some cracking and flaking of paint to timberwork of windows and verandah elements.

Condition	Good	Fair	Poor
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Alterations and Additions

- Weatherboard extension at the south eastern corner is early, dating from approximately 1930s
- Roof has been retiled with concrete tiles*
- Corrugated iron sheeting to bullnose verandah has been replaced with concrete tiles*
- Verandah floor covered with ceramic tiles
- Some windows have been reglazed with concave glass sections
- Window and door openings at rear have been reconfigured and enlarged
- Early or original timber picket fence removed (see historic image below). A later brick boundary fence was also subsequently removed (see historic image below).

The recladding of the roof and verandah has altered the overall form of the building and is an unsympathetic addition. The integrity of the item is considered to be moderate as the dwelling, although modified, retains most of its original fabric.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	1876-1900 – exact date unknown
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, and appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject area is originally part of the 1065 acre Government Domain which came to form part of land acquired by William Fullagar in 1859. By the 1870s Fullagar was one of the major landholders in the district. The lots he acquired in 1859-61 were during the sale of an extensive portion of the Government Domain (by the 1850s 'Parramatta Park') and Fullagar owned much of present-day Wentworthville.

In 1913 approximately 89 acres along the western side of Bridge Road were purchased by Charles Veron, a grazier of the area, and subdivided in 1914 to form Hudson Road. Over 1 acre comprising 6 lots along Bridge Road were purchased by Florence Beater at this time. Between 1916-26 George Graham is listed in the Sands at the property. The property was purchased by Joseph Rutter in 1926, who appears in the Sands Directory from 1927 at 'Yarooga'.

Although its construction date is unknown, its architectural style suggests it dates prior to 1914, possibly as an early residence associated with the Fullagar Estate from 1876. The house was reputedly constructed as the city residence of a former Mayor of Dubbo and was also known as 'Kinross' for a short time. A number of properties are listed on Bridge Road prior to 1914, and it is difficult to determine which one is the subject property. The land at the rear reputedly formed a market garden which remained until the 1950s. The land was slow to subdivide from 1913 onwards. The dwelling remains in use as a private residence.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X

3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.	X		

Other recommendations and/or comments:

- To protect the building from further damage, the dwelling requires work to remediate the vegetation overgrowth on the roof and chimney, as well as the water ingress issues.
- Should the opportunity arise, it is recommended the roof and verandah be reinstated to its former materiality (corrugated iron) and form (a bullnose verandah). Refer to historic images below.
- Should opportunity arise, the original timber picket fence should be reinstated along the boundary of the item. Refer to historic images below.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Yoorrooga”, Late Victorian Cottage	I250
Heritage Study	“Yoorrooga”, Late Victorian Cottage	I250
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

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2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of side (northern) elevation from Hudson Street.



Overview of dwelling from corner of Hudson Street and Bridge Road.



Detail of front landscape setting with southern section of front façade in the background.



View of driveway and modern shed at the rear.



View of mature plantings along Bridge Road.



Detail of vegetation growth to chimney and roof.




Image of subject site, c.1935 (Source: Flickr, Holroyd City Library).



Image of subject site, date unknown (Source: Elias, J and Coppins, S 2013, Pictorial History Holroyd, p. 47).

Heritage Inventory Sheet

Item Name	Former Post Office, circa 1926		
Recommended Name	Former Wentworthville Post Office		
Site Image			
Address	63 Dunmore Street, Wentworthville, NSW 2145		
Lot/Section/DP	8-9	-	9296
Draft Cumberland LEP ID	I251		
Former LEP ID	I108 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Postal/Telecommunications	

Curtilage Map



Statement of Significance

The Former Wentworthville Post Office has local historic and social significance as one of the suburb's early, purpose-built post offices. Located in Wentworthville's main commercial centre, this building provides evidence of the notable growth of population and associated development of civic infrastructure which occurred in the area in the inter-war period. The building also has local aesthetic significance as a modest but relatively intact example of intact Inter-War Georgian Revival vernacular and is a notable landmark in the commercial centre, which has lost much of its early historic fabric.

Criteria Assessment

a) Historic	The item has historical significance as one of the suburb's early purpose-built post offices, evidence of the historical growth of the suburb and of civic infrastructure.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance as an example of Inter-War Georgian Revival architecture in a highly developed streetscape.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of local civic infrastructure in areas of interwar population growth.

Physical Description

The site consists of a single-storey brick building with hipped terracotta-tiled roof, and an asymmetric, single-fronted principle elevation. There is a single brick chimney with terracotta cowl in the northeast corner of the building. The corners of the building have brick quoin courses. There is a rendered profiled skirting around the base of the building. There are three double-hung sash timber windows, with six-pane top sashed. Steel grilles have been fitted to the brickwork in front of each window. The entry porch is a recessed tiled foyer framed by "classical" tapered rendered columns. There is a steel mesh roller screen to the entry porch. The sides and rear of the building are generally intact, with modern steel window grilles, air conditioner condenser units, and a small lightweight steel awning over the rear windows.

The property is enclosed with a steel cyclone mesh fencing. There appears to be a small single-storey shed structure in the northwest corner of the property and a modern concrete carpark. The building is situated close to the street with a paved footpath to the front and one mature tree.

Overall the building is in a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

- Timber-framed fibro wall divider blocking narrow passage between item and adjacent building at 63-65 Dunmore Street*
- Small shed structure in northeast corner of property
- Window grilles to all elevations
- Roller mesh screen to entrance foyer*
- Air conditioner condenser units to west elevation*
- Lightweight steel awning over rear elevation northwest windows*

The building maintains its general form and structure however, there have been a number modifications and additions to the building that are not sympathetic to the heritage values of the building, such as the roller mesh screen to entrance foyer. Overall the building is of moderate integrity.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	c. 1926
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. In accordance with normal custom, Wentworth's salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The first post office servicing the area was opened in the 1890s at Wentworthville Railway Station until this purpose-built office was built in the mid-1920s to accommodate the growing community. This building served its function until the larger post office building adjacent was built in the 1960s.

The building is currently unoccupied.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).			
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- Should the opportunity arise, the large tree in front of the item should be trimmed as it is obscuring views of the item and may be depositing litter into roof drainage.
- Explore potential for adaptive reuse of this building in order to maintain its continued use within the community.

Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Former Post Office, circa 1926	I251
Heritage Study	Former Post Office, circa 1926	I251
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ. 1967. *Wentworth, D'Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014. *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

Limitations

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2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
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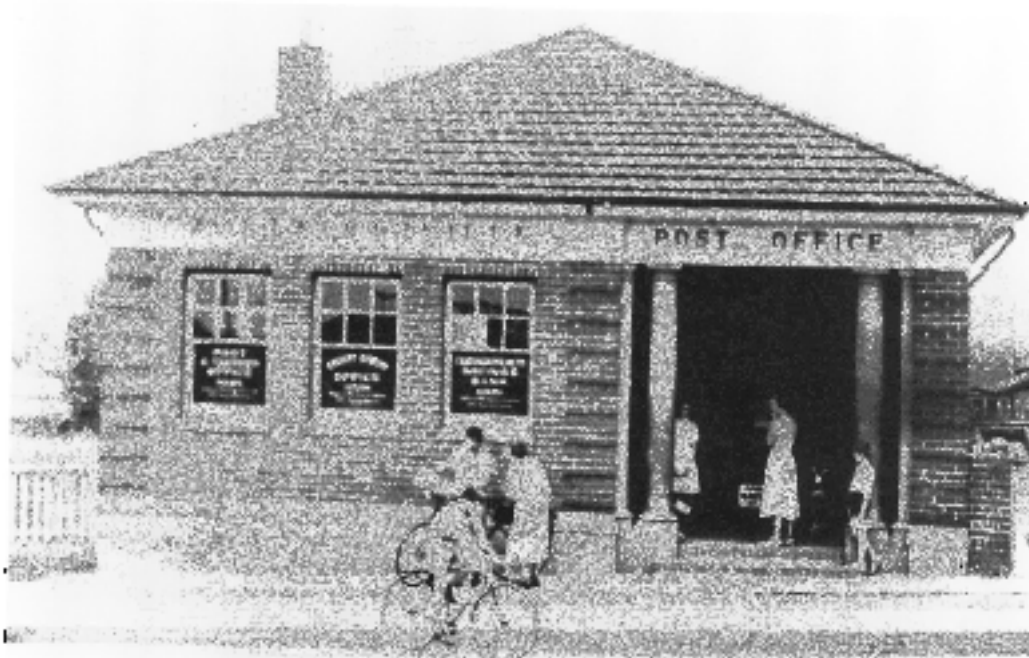
Additional Images



View to rear of post office




Detail of brick quoin coursed to corners of building.



Wentworthville Post Office, date unknown (Source: Elias, J and Coppins, S 2013. Pictorial History Holroyd. Kingsclear Books, Alexandria, p. 45 ; Commonwealth Bank Archives).

Heritage Inventory Sheet

Item Name	Late Victorian Cottage		
Recommended Name	Late Victorian Cottage		
Site Image			
Address	7 Fullagar Road, Wentworthville NSW 2145		
Lot/Section/DP	239	-	7383
Draft Cumberland LEP ID	I253		
Former LEP ID	I111 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 7 Fullagar Road, Wentworthville is of local significance for its historic and aesthetic values. The item has some historic significance for its location on the former original Government Domain, first subdivided 1859-61 and acquired and subdivided by William Fullagar. The cottage retains the original form, style and detailing of a relatively modest weatherboard cottage from the early 19th century. Although the building has been modified, it still retains its aesthetic significance as a modest late Victorian cottage which contributes positively to the streetscape as part of the historic building stock.

Criteria Assessment

a) Historic	The item is located on the original Government Domain, first subdivided 1859-61 and acquired by William Fullagar.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The cottage retains the original form, style and detailing of a relatively modest weatherboard cottage from the early 19th century. Although the building has been modified, it still retains its aesthetic significance as a modest late Victorian cottage which contributes positively to the streetscape as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The item is a late Victorian cottage constructed of rusticated weatherboards, with a hipped roof of corrugated galvanised iron. The house is supported on open brick piers and the verandah on a face brick base. The roof also features the original face brick chimney with two terracotta chimney pots, new galvanised iron sheeting and recent Colorbond guttering. The bullnose verandah is reclad in corrugated galvanised iron and is supported on contemporary turned timber posts with a timber panel infilled balustrade. The timber posts have been stained, whereas the balustrade is painted white. The verandah features timber flooring and is entered by tiled stairs. The front façade is symmetrical with a central door and leadlight top light, as well as timber framed double hung windows on either side. All window openings feature profiled timber architraves and sills. The door is a modern timber panelled door with leadlight panel and a profiled timber architrave. The new window and door openings are also timber framed. The dwelling features a rear extension which has a corrugated iron hipped roof and fibro and weatherboard clad walls.

The house is located on a large block set above the street level. The front landscape features an established garden setting with a contemporary drywall retaining wall and timber slab retaining wall. The landscaping features several mature trees at the rear of the property, including a palm. A driveway extends along the western boundary.

The dwelling is well maintained and in good condition overall.

Condition	Good	Fair	Poor
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Alterations and Additions

- Roof sheeting and guttering replaced on main roof and verandah
- Verandah posts replaced with contemporary turned timber posts*
- Contemporary landscaping and retaining walls
- Replaced timber architraves on door and windows
- Contemporary door

Although the building is highly modified having undergone a renovation in the early 1990s, the item respectfully retains its scale, form and some detailing. Unless otherwise advised above, alterations have been sympathetic in nature and respectfully replace fabric on a like for like basis to retain the buildings aesthetic.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	1915
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property formed part of the 1065-acre Government Domain, which was primarily used for grazing, with some orchards and vineyards. Subdivision of this estate allowed existing owners to increase their holdings. The property formed part of land acquired by William Fullagar in 1859. Fullagar was the son of ex-convicts who opened the Star Inn near Ettalong Road and cattle yards in the Wentworth Estate in 1845. Fullagar acquired extensive tracts of land in the present-day area of Westmead and Wentworthville, particularly during the subdivision of the Government Domain.

In 1913 approximately 89 acres were purchased by Charles Veron, a grazier who subsequently subdivided his property in 1914. The subject property formed Lot 23 in Veron's 1914 subdivision and was purchased by James Rymer in 1915. Rymer was an engine fitter and is listed to have been in occupation of the property in the Sands Directory between 1917-33. The property was transferred to Ellen Rymer in 1934. An application for building works in 1997 was made for an addition to the dwelling, which is most likely the existing rear extension. The building remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- Should the opportunity arise, sympathetic timber posts should be reinstated to the verandah.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Late Victorian Cottage	I253
Heritage Study	Late Victorian Cottage	I253
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967. 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora*. Kingsclear Books, Alexandria.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images




Dwelling and contemporary landscaping.



Detail view of the dwelling.

Heritage Inventory Sheet

Item Name	Electricity Substation		
Site Image			
Address	62 Fullagar Road, Wentworthville, NSW 2145		
Lot/Section/DP	-	-	Part of SP 61875
Current LEP ID	I268 (Cumberland LEP)		
Former LEP ID	I125 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	August 2024		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Utilities – Electricity	

Curtilage Map



Statement of Significance

The Electricity Substation at 62 Fullagar Road, Wentworthville is locally significant for its historic, technical and representative values. Built in 1928, illustrates the **early twentieth century** technology utilised in the generation and distribution of electricity supply in the area. This type of technology is now redundant; however, this substation is one of a small group of remaining intact industrial infrastructure items representing a specific function for the community. The item is an intact and representative example of the standardised electrical substations constructed in the 1920s.

Criteria Assessment

a) Historic	The item illustrates the early twentieth century technology utilised in the generation and distribution of electricity supply in the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The substation illustrates the early twentieth century technology utilised in the generation and distribution of electricity supply in the area. This type of technology is no longer being used.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is an intact and representative example of the standardised electrical substations constructed in 1920s.

Physical Description

The substation, at the corner of Fullagar Road and Lane Street, is a single storey brick building with a single wide opening on its principle façade to Fullagar Road. The principle façade features the original double wooden entrance door and rendered lintel with expressed brick piers. The building has a gabled roof clad in terracotta tiles with a timber barge board and rendered gable infill with "Electrical Supply 1928" in the gable end relief. The rear elevation and barge board on the principle elevation feature the former insulators, indicating how the structure was connected to the electrical grid. The window opening on the west elevation features a 4-pane, double-sash casement window with a brick sill and sandstone

lintel. The window is fronted by a contemporary security grill.

The substation is set within a heavily developed area, with multi-storey residential developments encroaching the structure from most sides. A tall brick boundary fence, which relates to the residential development for "The Peninsula", now screens views of the building from the street.

The building appears to have been recently repainted and is in a good condition, however, there is an extensive amount of leaf litter deposited on the roof and in the guttering which is causing damp issues. The sandstone lintel shows signs of sandstone delamination.

Condition	Good	Fair	Poor
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Alterations and Additions

- Contemporary security grill to window on the west elevation
- Appears to have been repainted recently
- Addition of brick boundary fence in front of property*
- Removal of transformer equipment from the former yard*

Although the heritage curtilage of the item is heavily impacted by medium density development to the rear, the building itself retains a high level of integrity.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The Sydney Municipal Council's Electric Lighting Bill was passed in October 1896 and a power station was built in Pyrmont in 1900. Meanwhile, the NSW Railways and Tramways had commenced generating power at Ultimo in 1899. Both organisations quickly moved into supplying electrical power in bulk to local councils, for local reticulation. However, many local councils established municipal electrical supplies and Parramatta and Granville Electrical Supply Company commenced operation in 1913. It ceased generating for itself after 1917, taking bulk supply from the Sydney Municipal Council via a substation at Merrylands. It later swapped to supply from the Railways and was purchased by the Electrical Light Power Supply Corporation (ELPSC) in the 1940s, with supply then provided from Balmain power station. In 1957, the ELPSC was acquired by the Electricity Commission of New South Wales.

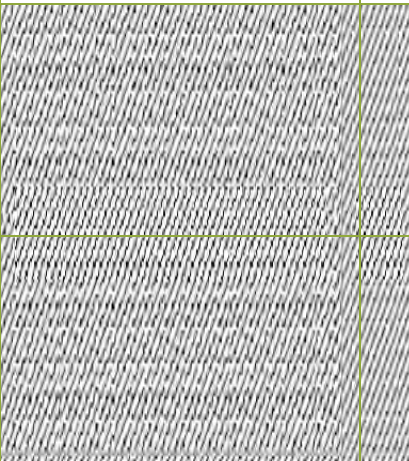
In the eastern part of Cumberland, supply was generally acquired from the Sydney Municipal Council and several substations were constructed in Auburn, Lidcombe, Guildford, Wentworthville, Merrylands and Westmead to a standardised design.

These supply arrangements changed very little when the Electricity Commission was formed in 1950 and took control of all generation facilities and became the bulk supplier to county councils and

municipalities. The supply from individual generation authorities ceased and supply was acquired from the NSW State electricity grid.

The former Holroyd local government commenced supplying electricity to its municipality in 1923. The local authority purchased its supply in bulk from the Sydney Municipal Council at 5.5kV. The substation located in Auburn (No. 167) was the former bulk supply receiving station. The number of substations constructed in the Sydney region increased dramatically from the late 1920s, with dozens of substations being constructed to cope with the expanding demand. While in the early years of network construction many substations had unique characteristics and were sited in response to demand. However, from the late 1920s onwards a standardised design was employed, and expansion was based on the need to establish and expand the electricity grid rather than in response to localised or site-specific issues.

The substation located on the corner of Fullagar Road and Lane Street Wentworthville is one of many built during this period to service the expanding population of the district and shares a similar design, size, and construction to other electrical substations provided in the former Holroyd municipality during the 1920s. The building has been decommissioned and is no longer in use.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

		11. The condition of this item is poor. Condition and maintenance should be monitored.		
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Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.
- Pennington, J. 2012. Electricity Substations of the Sydney Municipal Council and other local authorities. Sydney: James Pennington

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Detail of gable end showing 'ELECTRICAL SUPPLY 1928' relief.



View along Fullagar Road from the substation, showing modern development adjacent to the building.



Overview of substation showing front and side elevations, as well as the boundary fence.




Rear elevation of substation and boundary fence.



Overview of substation from the footpath along Fullagar Road.

Heritage Inventory Sheet

Item Name	Federation Arts and Crafts shop building		
Recommended Name	Federation Arts and Crafts Shop		
Site Image			
Address	17 Garfield Street, Wentworthville, NSW 2145		
Lot/Section/DP	31A	-	305323
Draft Cumberland LEP ID	I255		
Former LEP ID	I126 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Retail	

Curtilage Map



Statement of Significance

The building at 17 Garfield Street, Wentworthville on the corner of Pritchard Street East, is locally significant as a good example of a corner shop building design typical on many suburban street corners in Sydney. The item has aesthetic significance as a typical Federation corner store in the Arts and Craft style. The building is quite intact and retains high integrity with most of its original fabric especially with regards to its façade presentation extant. While it currently operates well as a space for professional services, it no longer operates as a retail space as per its original function, and therefore is no longer a working example of its type.

Criteria Assessment

a) Historic	The item has historical significance as a standard Federation style retail building that was common in the Sydney suburbs prior to the popularisation of shopping malls.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance as an example of a typical form of corner store architecture in the Federation Arts and Craft style, common in the suburbs.
d) Social	The item has social significance to Wentworthville in terms of how the community interacted with retailers and the exchange of goods prior to centralised shopping malls.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of local retail activities in suburban Sydney.

Physical Description

The building is a single-storey Federation Arts and Crafts style corner shop located on the corner of Garfield Street and Pritchard Street East, Wentworthville. The building is divided into two sections, the front and street addressing section being the shopfront, and the residence in the rear. The building is a painted brick building with a prominent decorative parapet of raised brick with a rendered capping, spanning both street elevations. Behind the parapet is a corrugated steel gabled roof.

On the chamfered corner is the timber panelled entry door with spotswood glazing on the top panels. The door has an original terrazzo threshold. Above the door is a large "17" in relief. The windows to the side facades of the chamfer have large oversize timber-framed fixed windows. There is timber boarding over the top sections of the door and windows where there would have been three-pane top lights with coloured panes. It is uncertain whether these top lights are still in place. Above the windows and wrapping around the corner facades is evidence of a former awning, which has now been removed. There is a skillion-roofed extension to the shop, which meets the gable-roofed residence in the rear. A former opening to the residence on Pritchard street has been infilled with a window. The windows are timber double hung sash windows. The rear verandah to the residence has also been enclosed with timber boarding.

The whole façade has been painted in a modern colour scheme. Generally, the condition of the building is good though there are small areas of deterioration such as the timber window frames and losses to mortar requiring basic maintenance and repairs.

Condition	Good	Fair	Poor
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Alterations and Additions

- Removal of wrap-around awning*
- Skillion extension to rear of shop connecting to the gable-roof
- Door opening to Pritchard Street East elevation infilled to a window opening
- Timber boarding above door and windows covering top lights (possibly removed)*
- Timber board enclosing rear verandah of residence*

Although there have been some modifications to the building, these are sympathetic to the heritage values of the building. The overall integrity of the building is high.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c.1922
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. In accordance with normal custom, Wentworth's salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

In 1910, Wentworthville was again subdivided into the suburb of Girraween. The suburb was created by real estate developer Arthur Rickard of Arthur Rickard & Co. Ltd who began subdividing the area near Toongabbie station during WWI. In this period, Pendle Hill, a locality within Wentworthville became

a suburb changing its name from Wentworthville West to Pendle Hill in 1917. After the 1919 Local Government Act, all subdivisions had to be approved by local councils who examined their allotment sizes, layouts, and streets. Only when the location on a hilltop made a grid pattern subdivision undesirable did surveyors and promoters deviate from the norm, such as Dorothy Mount in Wentworthville (subdivided in 1916) and the Constitution Hill Estate (subdivided in 1924). Pendle Hill was another new subdivision that opened in 1927 and rapidly grew in popularity for its neat cottages and attractive gardens.

The area of Garfield Street underwent sale and subdivision numerous times between 1888 and 1922, when the present boundaries for 17 Garfield Street were set and appear to be maintained today. At this time, the footprint for the corner shop was included in the subdivision plans indicating it was being planned and built around this time. The shop was leased to a grocer, Frederick Inskip between 1924-1935. During WW2, it was reputedly being used as a gaming house. A range of retailers and professionals have leased the space continuously until the present day. The site is currently used as a commercial property.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- Should the opportunity arise, a paint analysis should be undertaken and a more appropriate historic colour scheme should be implemented.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Arts and Crafts shop building	I255
Heritage Study	Federation Arts and Crafts shop building	I255
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ. 1967. *Wentworth, D'Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013. *Pictorial History Holroyd*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014. *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Eastern elevation of Federation Shop.




Northern elevation of shop front.



Shop as it sits on corner of Garfield Street and Pritchard Street East.

Heritage Inventory Sheet

Item Name	Masonic Temple		
Recommended Name	Former Wentworthville Masonic Temple		
Site Image			
Address	26 Garfield Street, Wentworthville, NSW 2145		
Lot/Section/DP	19	-	7330
Draft Cumberland LEP ID	I256		
Former LEP ID	I127 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Religion	

Curtilage Map



Statement of Significance

The Former Wentworthville Masonic Temple is of local significance for its historic, aesthetic and representative values. The building illustrates the nature of suburban development in the Wentworthville area in 1927, during the Interwar period. The building is historically associated with the Wentworthville Masonic Lodge, as well as the development of local social and cultural institutions that accompanied the residential growth of the period. Architecturally, the building is a representative example of suburban Masonic Temples built in the period in the Inter War Free Classical style. Externally, it appears to retain much of its original character and fabric, although it was modified to accommodate the Armenian Holy Trinity Church. Through this, the building still retains its aesthetic significance as a prominent and well-kept historic building within the street.

Criteria Assessment

a) Historic	The building illustrates the nature of suburban development in the Wentworthville area in 1927, during the Interwar period. The building is historically associated with the Wentworthville Masonic Lodge, as well as the development of local social and cultural institutions that accompanied the residential growth of the period.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	Externally, it appears to retain much of its original character and fabric, although it was modified to accommodate the Armenian Holy Trinity Church. Through this, the building still retains its aesthetic significance as a prominent and well-kept historic building within the street.
d) Social	The item does not meet this criterion.

e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	Architecturally, the building is a representative example of suburban Masonic Temples built in the period in the Inter War Free Classical style.

Physical Description

The Former Wentworthville Masonic Temple is a double storey Inter-war Free Classical style building. The building features a hipped roof with small gabled vents at the ridge peak and is clad in terracotta tiles. The principal façade is decorated with several classical motifs including rendered brick pilasters, an entablature and Romanesque rendered arches with a rectangular cartouche at the centre. The entablature is supported on rendered classical columns with a simple base. The main entrance features a timber door and fanlight with diagonal lattice glazing. The upper level of the principal facade features three rectangular windows with diagonal lattice glazing. These windows are framed by simplistic rendered detailing, including a rendered cornice sill and lintel with a bare rectangular keystone. Window openings along the north and south elevations retain the diagonal lattice glazing with a rendered lintel along the upper façade and multipaned double hung sash windows along the lower façade.

The building features a rear extension that wraps around to the southern elevation. This extension is visible from Garfield Street. The southern elevation also features a side addition. Both are constructed of rendered concrete and have flat roofs. The additions are associated with the buildings use as the Armenian Holy Trinity Church.

The surrounding landscape of the building includes restrained landscaping elements with two young trees framing the entrance and hedging in garden beds along the principle elevation. The surrounding land is largely of concrete, with new paths and a driveway along the north elevation that leads to concrete carpark at the rear of the building. The property's boundary on Garfield Street is marked by a contemporary brick fence with steel balustrade infill and gate. The building remains a prominent element in the streetscape and is highly visible.

The building appears to be in a good condition and well maintained.

Condition	Good	Fair	Poor
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Alterations and Additions

- Rear extension
- Southern elevation side addition
- Entablature, added in 2012*
- Romanesque rendered arches, added in 2012*
- New boundary fence and gate
- Concrete access ramp, paths and carpark
- New signage, added in 2012
- Contemporary landscaping
- Removal of 'Masonic Temple' from the upper string course on the principle façade*
- New light fittings internally, added in 2012
- New pews internally, added in 2012

The building appears to have substantially modified for use as a Church. Although modified, the building appears to be well maintained and retains much of its original material and fabric. Although the extension and side addition are visible from the front elevation, they do not distort the form, scale and massing of the original structure. The integrity is considered to be moderate.

Integrity	High	Moderate	Low
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** element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	1927
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. The subject property formed part of the Wentworthville Estate subdivided in c.1881. Wentworthville was proclaimed a town in 1890.

The masonic temple was built by a member of the masonic lodge known as Brother George Redman at a cost of £3500 which included the internal furniture. The foundation stone was laid by Grand Master Bro. J Goulston in April 1927. The Masonic Lodge opened in August 1927 and was celebrated with a 'Ladies Night' for all the Wentworthville Masons, their mothers, wives, daughters and sisters.

In 2007, the Armenian Church Diocese, clergy of the Church of Holy Resurrection acquired the Wentworthville Masonic Temple. The former Masonic Temple space was acquired to establish a Church to serve the spiritual and religious need of the growing Armenian population in the area. A redevelopment project was undertaken in 2012 to transform the internal space to a holy sanctuary. This saw a number of changes to the interior with the inclusion of new light fittings and pews, as well as external elements such as the landscaping, an entablature over the entrance and Romanesque arches on the principle façade. The holy alter was consecrated by Bishop Haigazoun Najarian on 5 January 2014. The building remains in use as the Armenian Holy Trinity Church.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	X

4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Masonic Temple	I256
Heritage Study	Masonic Temple	I256
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations


1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images

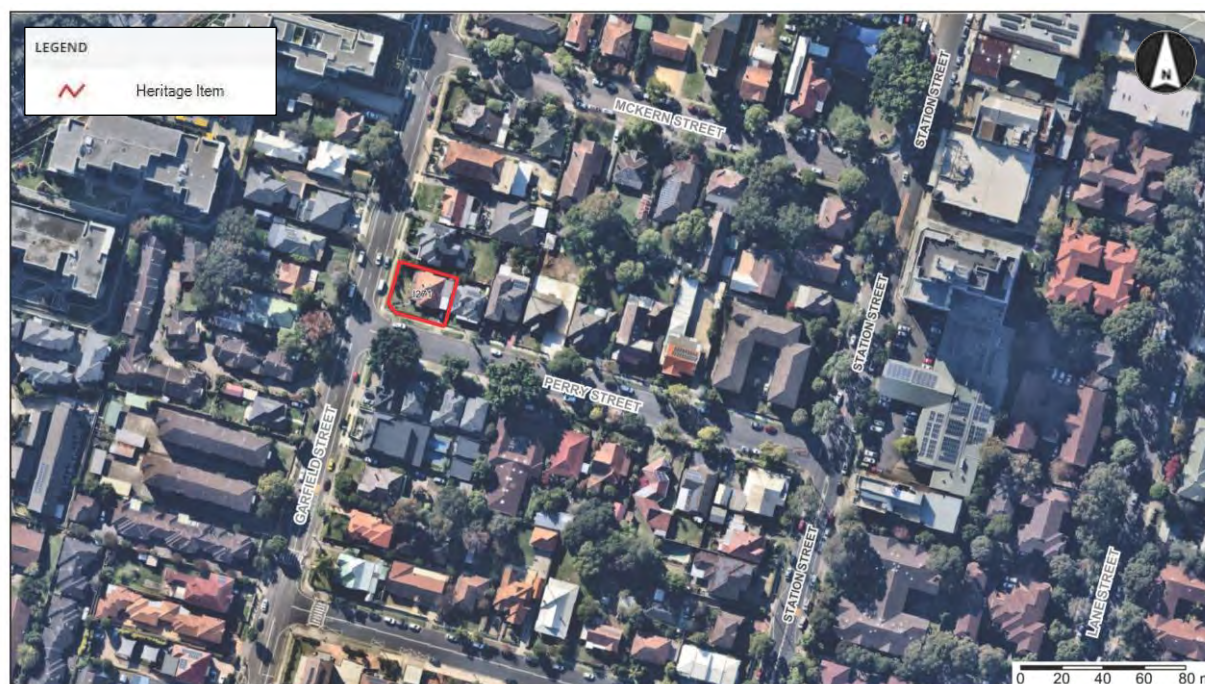


Overview of Former Masonic Temple.

Heritage Inventory Sheet

Item Name	Inter-war Bungalow		
Site Image			
Address	32 Garfield Street, Wentworthville, NSW 2145		
Lot/Section/DP	1	-	1201355
Current LEP ID	I271 (Cumberland LEP)		
Former LEP ID	I128 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	August 2024		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Building (Private)	

Curtilage Map



Statement of Significance

The dwelling at 32 Garfield Street, Wentworthville is locally significant for its aesthetic and representative values. Built c1923, the dwelling has aesthetic significance as a largely intact and fine example of an Inter-War bungalow with Federation period influences. Located on a large block on a prominent street corner, it is an important element to both streetscapes it addresses. While it has been slightly modified, the building remains an important part of the historic building stock in the area.

Criteria Assessment	
a) Historic	The item does not meet this criterion.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a largely intact and fine example of an Inter-War bungalow with Federation detailing. Located on a large block on a prominent street corner, it is an important element to both streetscapes it addresses. While it has been slightly modified, the building remains an important part of the historic building stock in the area.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The dwelling is a largely intact and fine example of an Inter-War bungalow with Federation period influences.

Physical Description

The subject building is a face brick bungalow with a prominent hipped main roof clad in terracotta tile, as well as a flat roof over the L-shaped front verandah. The roofscape features one brick chimney with a single terracotta cowl pot and a whirly bird. The verandah roof is supported on timber posts with screen detailing located on brick piers. There is a brick balustrade. The brick balustrade that spans between the piers features rendered capping which is painted blue. The verandah features tile and terrazzo finish to the floor. The facades addressing the street feature pairs of French doors which open

onto the verandah, a panelled front door with sidelights and, timber framed windows with Edwardian style lead lights and brick and rendered arched heads. The rear of the house includes a skillion-roofed section clad in brick and Fibre Cement sheet with aluminium windows.

The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street. A metal garage which was added in 1996 was subsequently been removed.

The property commands a prominent corner lot and is bound by a brick and decorative wrought iron fence. The building features a modest setback and is fronted by a mature garden with some contemporary landscaping. The back of the property is lined with a corrugated steel fence. While there is no specific landscape elements of value, the overall layout is contributory to the aesthetic significance of the place and should be managed accordingly.

Overall the condition of the dwelling is good. It appears to well-maintained having undergone general maintenance and repair works, including the repainting of timber elements, replacement of guttering to verandah and main roof, and the repointing of mortar joints in certain areas.

Condition	Good	Fair	Poor
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Alterations and Additions

- Council records indicate:
 - Works to the porch were carried out in 1950
 - The skillion-roofed section to the rear and the Fibre Cement additions were made in 1956
- Aluminium windows have been fitted along the side of the dwelling*
- A metal garage was added in 1996, this has subsequently been removed
- A recent rear brick addition fronted with a flat roofed carport has been added to the building
- Timber verandah elements have been repainted
- Mortar joints along the southern elevation have been repointed
- Whirly bird addition to roof, painted to match the roof tiles
- The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street

Although slightly modified, the building presents as a highly intact interwar bungalow. The rear additions are sympathetic to the buildings form, scale and materiality and do not adversely impact on the heritage significance of the item.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c.1923
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, and Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890 following this subdivision of the Wentworth Estate in 1881.

In 1893, a portion of Wentworth's estate was bought by William Pritchard, an Auctioneer, and the land was subsequently subdivided. In 1892 a portion of land was transferred to John Hamilton who sold it

in 1913 to the Intercolonial Investment Land and Building Company Ltd. A covenant was placed on the property at this time to state that any building erected within the following 20 years should cost not less than 250 pounds. Intercolonial subdivided the land further and in 1916 sold part of the subdivision to Frederick Ebenezer Greenwood, who in turn sold part in the next year to Minna Catherine Flales.

In 1918, this property was formed through a subdivided of a piece of land into two parcels. The site was purchased by Agatha Leddin in 1920 who subsequently sold it to Septimus Owen, a builder, in 1923. It is not clear when the house was constructed, however, its style would indicate that it was built at approximately this time. In 1931 the property was sold again and has been transferred a number of times since. The property was subdivided into two parcels of land and a new dwelling constructed on the new parcel of land in 2017, now addressed as 11 Perry Street. The original dwelling remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

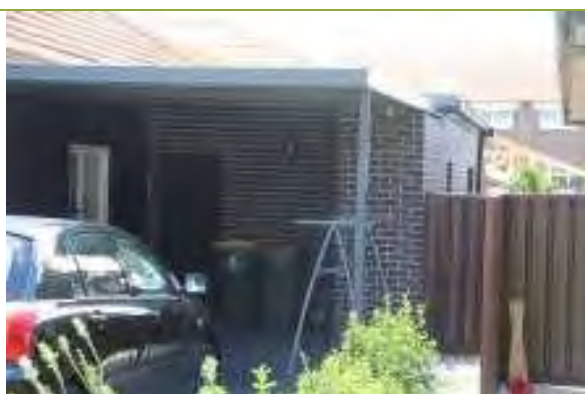
Additional Images



View of dwelling from Garfield Street, including garden setting and fence.




View of dwelling from Perry Street, including modern driveway and garden setting.



Detail of brick extension to dwelling.

Heritage Inventory Sheet

Item Name	Federation Period / Queen Anne Style Bungalow		
Recommended Name	Federation Queen Anne Bungalow		
Site Image			
Address	38 Garfield Street, Wentworthville NSW 2145		
Lot/Section/DP	38	-	7330
Draft Cumberland LEP ID	I258		
Former LEP ID	I130 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 38 Garfield Street, Wentworthville is of local heritage for its historic, aesthetic and representative values. Built in c.1916, the dwelling has historic significance as evidence of the subdivision of the original D'Arcy Wentworth Grant by local auctioneer William Pritchard and is one the earliest large remaining suburban residences constructed on this 1881 estate. The dwelling has aesthetic significance as a fine and largely intact Queen Anne Federation Bungalow and is a representative example of that building type. The building has additional aesthetic value for the positive contribution it makes to the character of Garfield Street in general.

Criteria Assessment

a) Historic	Built in c.1916 the dwelling has historic significance as evidence of the subdivision of the original D'Arcy Wentworth Grant and is one the earliest large remaining suburban residences constructed on this 1881 estate.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a fine and largely intact Queen Anne Federation Bungalow and is a representative example of that building type. The building has additional aesthetic value for the positive contribution it makes to the character of Garfield Street.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Queen Anne Federation Bungalow.

Physical Description

The item is a single storey cottage built in the Federation Queen Anne Bungalow style with an asymmetrical layout. The building has face brick walls which have been tuck pointed to the front façade. The roof is a gabled hip roof clad with slate tiles and terracotta ridge caps. The roof also features two single and one double rendered brick chimneys with terracotta chimney pots, a vented gable end and exposed timber rafters. The gabled wing to the street has a roughcast rendered end and simple timber panel. A verandah wraps around the northwest corner between the hipped wings and is an extension of the main roof. The verandah roof is supported on pairs of squat timber columns on brick piers with exposed rafters, a decorative timber infill and brackets with a low steel balustrade and concrete base. The front door next to the gabled wing is timber and glass panelled, with leadlight side and fan lights. The second door in the hipped wing terminates the northern verandah and has an air-conditioning unit installed to the fan light. The projecting gabled wing to the street elevation features a set of three timber framed double hung sash windows with contemporary flyscreens. The windows have timber framed awnings with slate roof tiles. A three faceted bay window located in the verandah recess of the front façade is similarly a set of three timber framed double hung sash windows with contemporary flyscreens.

The rear verandah has been infilled with fibro cladding and louvred windows. The rear addition is not readily visible from the street elevation, according to the former listing sheet the rear addition '*has hardiplank wall cladding and aluminium sliding windows. An open carport or shed is attached at the rear SE corner.*' The rear setback contains a swimming pool dated to c.1997.

A concrete driveway on the northern boundary leads to a small garage at the rear. The dwelling is fronted by a mature and established garden landscape, bound by a low timber picket fence on rendered retaining wall with a central recessed entry to the street. While there are no specific plantings of note, the overall landscape setting contributes positively towards the heritage character of the dwelling.

Overall, the condition of the building is good. The rendered retaining wall is showing signs of cracking due to differential settlement, perhaps due to the garden bed that abuts the wall. There is some minor biological growth on the slate tiles.

Condition	Good	Fair	Poor
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Alterations and Additions

- Enclosure of rear verandah with fibro and louvred windows*
- Rear additions which are not visible from the street
- Picket fence to street with timber retaining wall
- Carport at south eastern corner
- An air-conditioning unit has been installed to fan light*
- Steel balustrade added to the verandah
- A pool was constructed c.1997

The building remains largely intact, with alterations to the rear of the property which have retained the overall character and form of the dwelling.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years c.1916

In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth and subdivided and sold from 1883. Allotments between Garfield and present Station Street were purchased by the Wentworthville Estate Land and Building Co Ltd in 1888. Land purchased in 1893 by William Pritchard included the subject property. The dwelling formed part of four 1/2 acres between Garfield St and present Station St purchased by John Hamilton in 1895, which was subdivided and sold between 1913-1918, forming the present property boundaries. A covenant was placed on the property in 1913 which required any building to cost not less than 250 pounds.

The subject property was one of the first to be sold in the area. It was purchased by Alfred Lucas, a salesman, in 1914. Lucas also purchased the adjacent allotment at no. 37 which is located to the north. Mortgages taken out by Lucas between 1914-24 and 1924-27 were most likely for the purchase of the land and construction of the cottage. The Sands Directory first noted Lucas at 'Foreston' in 1916. Lucas resided at the property until 1937. The building remains in use as a private residence.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring	X		

		development (form, scale, bulk, setback and height).		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period / Queen Anne Style Bungalow	I258
Heritage Study	Federation Period / Queen Anne Style Bungalow	I258
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

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- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
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3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of roof.



Overview of front landscaped setting.




View of the dwelling from the driveway.



Detailing of retaining wall.

Heritage Inventory Sheet

Item Name	Inter-war Cottage		
Recommended Name	'Ingallara' - Inter-War Cottage		
Site Image			
Address	41 Garfield Street, Wentworthville, NSW 2145		
Lot/Section/DP	29C	-	325228
Draft Cumberland LEP ID	I259		
Former LEP ID	I131 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (Private)	

Curtilage Map



Statement of Significance

The dwelling at 41 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1903, the building is historically linked to the residential development of Wentworthville following the subdivision of the Wentworth Estate in 1881 by local auctioneer William Pritchard. The dwelling has aesthetic significance as a modest Inter-War period residence, notably for its use of weatherboard and fibro cladding. It is representative of the simplicity and fabric of the Inter-War period. The building makes a positive contribution to the streetscape character of Garfield Street, informed by other single storey federation bungalows, and is readily identifiable as part of the historic building stock.

Criteria Assessment

a) Historic	Built c.1903, the building is historically linked to the residential development of Wentworthville following the subdivision of the Wentworth Estate in 1881 by local auctioneer William Pritchard.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has aesthetic significance as a modest Inter-War period residence, notably for its use of weatherboard and fibro cladding. The building makes a positive contribution to the streetscape character of Garfield Street, informed by other single storey federation bungalows, and is readily identifiable as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.

g) Representativeness	It is representative of the simplicity and fabric of the Federation period.
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Physical Description

The dwelling is a single storey timber framed cottage with a gabled hip roof and hipped wing extending towards the street. The roof is clad in corrugated iron and features a face brick chimney with a terracotta chimney pot and new Colorbond guttering. The building is built on brick foundations (piers to the side and brick infill to the front) with weatherboard walls to waist height and battened fibro above. A flat roof verandah extends around the hipped wing to form a roof over the bay window. The verandah is supported by pairs of timber posts set into a concrete base with simple capital and neck mouldings, and features Klip Lok roof sheeting. The hipped wing features a faceted bay window with three timber double hung multi-paned (6 per sash) windows. The front door adjacent to the hipped wing is obscured by metal security screen. Adjacent are a pair of similar windows to the faceted bay, with wide architraves. There are contemporary flyscreens fixed to each window opening. The building features a rear addition with a hipped roof clad in Colorbond sheet metal with solar panels.

A concrete driveway along the northern boundary leads to a small garage at the rear of the property. The garage features a contemporary garage with a roller door, walls clad in weatherboard to waist height and battened fibro above. The garage has a hipped gable roof with a central gablet infilled at the ridge peak. It appears to have been altered at the same time as the rear extension due to similar roof cladding materiality.

The street boundary features a low metal fence covered extensively with ivy. The property appears to retain its boundaries formed in 1930.

The building is in a good condition and is well maintained. Timber elements have been repainted and the guttering and downpipes replaced.

Condition	Good	Fair	Poor
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Alterations and Additions

- Rear extension
- Solar panels added to the roof of the rear extension
- Modified garage door and roof
- New Colourbond guttering and downpipes
- New paint scheme
- Klip Lok sheeting to verandah roof*

The buildings integrity is considered to be high. On the most part, building alterations do not detract or adversely impact the significance of the building and generally align with necessary building maintenance and repair.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	c.1903
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually

subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The land on which this dwelling is located was part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments on the western side of Garfield Street were purchased by the Wentworthville Estate Land and Building Company Limited in 1888. Land purchased in 1893 by William Pritchard, local auctioneer, included the subject property. Sections of Pritchard's Estate, including the subject property, passed to his wife Anna Maria in 1897. Pritchard subsequently subdivided the area. The subject property formed part of 3 acres 1 rood purchased by Emma Ormerod, wife of John Ormerod in 1901. It appears the cottage was constructed shortly after, as the property is first noted in the Sands in 1903, occupied by John Ormerod, fruit grower.

The property was known as 'Ingallara' in 1930. The present boundaries were formed in 1930 upon purchase by the Commissioners Government Savings Bank of NSW in 1930, by William Shannon in 1946, and by Raymond Ormerod in 1948. The building remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

		11. The condition of this item is poor. Condition and maintenance should be monitored.		
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Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Cottage	I259
Heritage Study	Inter-war Cottage	I259
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, *Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora*. Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd – A Social History of Western Sydney*. Sydney: University NSW Press.

Limitations


1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images

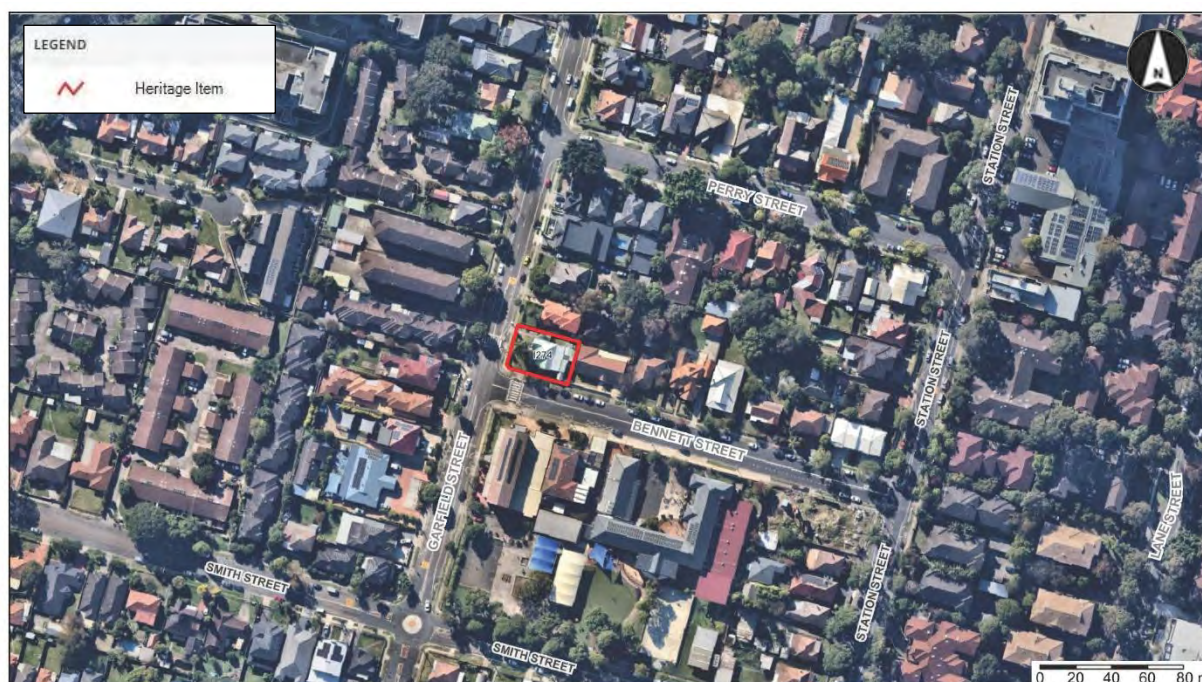


Overview of dwelling, driveway and landscaping.

Heritage Inventory Sheet

Item Name	'Nelyambo' - Federation Bungalow		
Site Image			
Address	42 Garfield Street, Wentworthville, NSW 2145		
Lot/Section/DP	55	-	1129817
Current LEP ID	I274 (Cumberland LEP)		
Former LEP ID	I132 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	August 2024		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Building (Private)	

Curtilage Map



Statement of Significance

The dwelling at 42 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1919-1921, the dwelling relates to the residential development of Wentworthville that followed the establishment of the railway station and subsequent attraction for people to move to the area. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which retains much of its original detailing. It has additional aesthetic significance for the contribution it makes to the character of Garfield Street generally. The building is a representative example of Federation cottages built in the area.

Criteria Assessment

a) Historic	Built c.1919-1921, the dwelling relates to the residential development of Wentworthville that followed the establishment of the railway station and subsequent attraction for people to move to the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item is of aesthetic significance as an intact and fine quality Federation period cottage which retains much of its original detailing. It has additional aesthetic significance for the contribution it makes to the character of Garfield Street generally.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The building is a representative example of Federation cottages built in the area.

Physical Description

The dwelling is a single storey Federation cottage. The cottage has an asymmetrical layout with face brick walls which have been tuck pointed to the street facades. The corrugated iron roof is hipped with two gabled wings projecting to the streets on the south and west. A verandah extends along the south and west elevations, and forms part of the main roof. The verandah is supported by pairs of timber posts on a curved brick balustrade. The timber posts feature simple timber brackets. The verandah also features tiled base and steps. The gabled wings have a faceted bay windows with brick spandrels and narrow multi-paned casement windows with multi-paned top lights and coloured glass panes at the bottom. The bay windows have a flat roof awning supported by carved timber brackets. The windows along the recessed verandah are timber framed, multi-paned casement windows. The front door adjacent the west wing is timber panelled, with glazed top and side lights. A second door into south wing terminates the south verandah. At the rear is a face brick skillion which appears to be original, and timber windows have segmental arched heads. An open verandah at the rear has a bullnose roof profile and is a later addition.

At the rear south east corner of the property is a small gabled entry portico off Bennett Street. A gabled carport is located off Garfield Street to the north and is addressed by a concrete driveway. The dwelling is situated on a deep corner block to Garfield and Bennett Streets, with an established garden setting. There two rows of five established palm trees located along entrance footpath. They form a significant component of the landscapes setting. They are surrounded by hedges along the dwelling and small contemporary plantings along the boundary fence.

The block appears to be subdivided at the rear with a contemporary building which addresses Bennett Street. The original subdivision boundary is therefore compromised.

Overall, the condition of the building is considered to be fair and the house presents as well-maintained from the street. The roof appears worn, however not dilapidated and operational. There is, however, some cracking to brickwork along the verandah brick infilled balustrade.

Condition	Good	Fair	Poor
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Alterations and Additions

- Rear bullnose verandah
- Gabled entry portico to Bennet Street
- Carport off Garfield Street
- Repointing to mortar joints along street façade*
- Roof sheeting replaced in c.1980-90s
- Subdivision of lot to create two lots

Overall, the integrity of the building is considered to be moderate. Although this is the case, the dwelling remains largely intact with alterations primarily at the rear of the property that do not detract from the dwellings overall form, scale or key detailing.

There are, however, obvious sections of brickwork which have been repointed on the principle façade (west elevation) and along the brick verandah balustrade that do not match the existing tuck-pointed mortar joints. The patch repairs have inadvertently negatively impacted on the aesthetic of the dwelling. The tuck pointing along these principle façades should be maintained using traditional techniques to match the existing.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years c.1919-1922

In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject dwelling is located on the land originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments between Garfield and Station Streets were purchased by the Wentworthville Estate Land and Building Company Limited in 1888. The subject property formed part of 6 acres 1 rood and 8 perches purchased by John Hamilton in 1894. The land was further subdivided and progressively sold between 1913-1919, forming the boundaries evident along the street today. A covenant placed on the property in 1913 required any building constructed on the property within the following 20 years should not cost less than 250 pounds. The property was purchased in 1917 by Leslie and Harry Thompson, and by Charles Miller in 1918. A mortgage taken out by Miller between 1919-22 to William Hitchcock and George Folkard, timber merchants, most likely was for the construction of the cottage. The Sands Directory first notes Miller at the property in 1921. W E Thomas is listed at the property between 1926-1928, and H T Murray 1930-33.

The dwelling remains in use as a private residence. However, it does not retain the original allotment boundary formed with the 1913-1919 subdivision as the rear of the property was subdivided to now include a contemporary dwelling addressing Bennett Street.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	

4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Repointing of brickwork should make an attempt to match existing mortar joints and be tuck-pointed.

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling on the street corner.



View along Bennet Street showing the dwelling on the left.



Detail of brickwork which has been poorly repointed.




Detail of brickwork which has been poorly repointed.



Boundary fence visible from Bennet Street.

Heritage Inventory Sheet

Item Name	Federation Period Residence		
Recommended Name	Federation Cottage		
Site Image			
Address	45 Garfield Street, Wentworthville NSW 2145		
Lot/Section/DP	101	-	830675
Draft Cumberland LEP ID	I261		
Former LEP ID	I133 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 45 Garfield Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built c.1913, the building is historically linked with the residential development of the area that followed the establishment of the railway and subsequent attraction for people to move to the area. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which contributes positively to the character of Garfield Street through both built and landscape elements. The building is representative of a quality Federation period cottage.

Criteria Assessment

a) Historic	Built c.1913, the building is historically linked with the residential development of the area that followed the establishment of the railway and subsequent attraction for people to move to the area.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling has high aesthetic significance as a largely intact Federation cottage with fine detailing which contributes positively to the character of Garfield Street through both built and landscape elements.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Federation period cottages.

Physical Description

The item is a single storey Federation cottage with an asymmetrical layout. The dwelling features face brick walls with polychromatic details, including string courses and segmental arched window heads. The brickwork to the southern and eastern façade is of a different colour and has been tuck pointed. The roof is hipped with two gabled wings that extend to the east and south, clad with Colorbond roof sheeting. The roof also has two rendered brick chimneys. The east gable end has a simple barge board detail and a central triple hung window with wide segmental arched heads and bullnose brick sills. A bullnose verandah wraps around the southeast corner of the dwelling between the gable wings. The bullnose verandah is supported on simple timber posts with decorative timber brackets and valance. The verandah has a tiled floor base. The two doorways off the verandah are obscured by aluminium security screens. Windows are generally timber framed double hung or casement windows that have segmental arched heads and brick sills. The rear of the dwelling has a skillion roofed timber weatherboard addition with an aluminium framed window.

The dwelling retains its original subdivision boundaries. Built with a deep setback, the dwelling is fronted by an established landscape setting with several mature trees lining the driveway and boundaries. The concrete driveway on the south side leads to a timber framed carport at the rear.

The building is in a good condition and appears to be a well-maintained residence. The brickwork appears to be recently repointed.

Condition	Good	Fair	Poor
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Alterations and Additions

- Weatherboard skillion rear addition
- Roof sheeting replaced
- Recent tuck pointing of south and east elevations
- Aluminium framed window to the rear*

The building is largely intact with minor alterations and additions. All alterations have respected the buildings heritage values and follow the principle of replacing heritage fabric on a like-for-like basis. The buildings integrity is considered to be high.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	1913
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject site is part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the land formed part of 488 acres between the Great Western Railway and Road acquired by Fitzwilliam Wentworth. The land was progressively subdivided and sold from 1883, and allotments on the western side of Garfield Street were purchased by the Wentworthville Estate Land and Building Company

Limited in 1888. Land purchase in 1893 by William Pritchard, auctioneer, included the subject property. Sections of Pritchards Estate, including the subject property, passed to his wife Anna Maria in 1887. Pritchard subsequently subdivided and the subject property formed part of 3 acres 1 rood purchased by John Armour, a messenger, in 1912. The land was progressively subdivided and sold between 1913-53. The property was purchased by Edward Andrew in 1913, and the house appears to have been constructed shortly after, first listed in the Sands Directory in 1915. Andrew resided at the property until 1925, and the property was purchased by Frederick Lambert in 1927. Lambert resided at the property between 1929-48, when it was purchased by Noel Croghan. The dwelling remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Residence	I261
Heritage Study	Federation Period Residence	I261
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora. Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd – A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images




View of the dwelling from the driveway entrance.



View of the dwelling from the driveway entrance.

Heritage Inventory Sheet

Item Name	Federation Period Cottage		
Recommended Name	Federation Cottage		
Site Image			
Address	26 Jordan Street, Wentworthville, NSW 2145		
Lot/Section/DP	91B	-	373242
Draft Cumberland LEP ID	I262		
Former LEP ID	I134 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 26 Jordan Street, Wentworthville is locally significant for its historic, aesthetic and representative values. Built in c.1914 the house is historically linked to the residential development of the area that followed the establishment of the railway and subdivision of land surrounding the railway station, principally the Government Domain estate. The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which makes a positive contribution to the character of Jordan Street. The building has representative values as a quality weatherboard Federation cottage.

Criteria Assessment

a) Historic	Built in c.1914 the house is historically linked to the residential development of the area that followed the establishment of the railway and subdivision of land surrounding the railway station, principally the Government Domain estate.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance for its external form and detailing which presents as a largely intact Federation cottage which makes a positive contribution to the character of Jordan Street.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item has representative values as a quality weatherboard Federation cottage.

Physical Description

The subject building is a single storey weatherboard clad Federation cottage. The dwelling has a hipped roof with a projecting gable extending towards the street, which is clad in corrugated iron. The roofscape also features a single brick chimney on the eastern side. The front elevation has a single door with an infilled top light, aluminium security screen and a pair of casement windows. The gable end features a timber screen with a simple bargeboard and finial above a faceted bay with a pair timber casement windows at the centre. The centre casement windows have single casement windows either side and fixed timber awnings. All windows to the street feature a band of coloured glass panes along the bottom, multi-paned coloured top lights, and simple timber architraves and sills. The verandah has a corrugated iron skillion roof with a timber ladder valance, which is supported on timber posts. The verandah has replaced a fibro infilled balustrade with a timber ladder and retained the original timber tongue and groove floorboards. The verandah has been extended around the western elevation and enclosed with fibro cladding, supported on brick piers with aluminium sliding windows and timber framed doorway. A possibly early weatherboard lean-to is located at the rear south eastern corner of the dwelling.

There is a low painted timber picket fence to the street and side boundaries. A driveway along the western boundary leads to a long garage towards the rear of the property. It appears to be clad in fibro sheeting with a skillion roof. The site has an established garden setting with a range of plantings, including a frangipani tree.

The building is well maintained and appears to be a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

- Verandah has been extended around the western elevation
- Verandah below the balustrade has been enclosed with fibro cladding
- New roof sheeting

The dwelling is largely intact and retains much of its original fabric. Although modified the buildings significance is not adversely impacted as the overall form and scale of the building is respected. The integrity is considered to be high.

Integrity	High	Moderate	Low
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** element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c. 1914
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property originally formed part of the 1065 acre Government Domain. The later subdivision of the Government Domain in 1859 saw much of the land acquired by William Fullagar, who acquired extensive tracts in the present day Westmead and Wentworthville area. In 1913 approximately 89 acres

were purchased by Charles Veron, grazier, who subsequently subdivided in 1914, forming Jordan Avenue. The subject area was situated on Lot 91 which comprised of 1/2 acre that was purchased by Florence Collins, wife of Charles Collins in 1914.

Although the exact date of construction of the cottage is unknown, its architectural style would indicate it was constructed for Collins as part of this early 20th century subdivision. This view is substantiated in the Sands Directory, as Charles Collins is listed at the property between 1923-33. Florence Joy and Hector Donald purchased the property as tenants in common in 1948. The property was further subdivided, and the present boundaries formed in 1960, when the cottage and grounds were purchased by Philip Wurst. The Wurst's resided at the property until 1989, when it was purchased by the present owner, Janice Sillett. An application for building works in 1961 was for a fibro garage. The dwelling remains in use as private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Cottage	I262
Heritage Study	Federation Period Cottage	I262
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling and landscaping.



Overview of dwelling from the driveway entrance.

Heritage Inventory Sheet

Item Name	Federation Cottage		
Recommended Name	Late Victorian Cottage		
Site Image			
Address	42 Lane Street, Wentworthville, NSW 2145		
Lot/Section/DP	17	1	963
Draft Cumberland LEP ID	I263		
Former LEP ID	I135 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The item at 42 Lane Street, Wentworthville is locally significant for its historic, rarity and representative values. It is an early surviving cottage, likely erected in the late nineteenth century on the 1881 Wentworthville Estate subdivision of D'Arcy Wentworth's original land grant. This type of dwelling is now the only one of its kind remaining in Lane Street. The cottage is a good representative example of the many small weatherboard "workingmen's cottages" built in the late 19th & early 20th century throughout Wentworthville in a simple late Victorian style.

Criteria Assessment

a) Historic	It is an early surviving cottage, likely erected in the late nineteenth century on the 1881 Wentworthville Estate subdivision of D'Arcy Wentworth's original land grant. This type of dwelling is now the only one of its kind remaining in Lane Street.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item does not meet this criterion.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	This type of dwelling is now the only one of its kind remaining in Lane Street.
g) Representativeness	The cottage is a good representative example of the many small weatherboard "workingmen's cottages" built in the late 19th & early 20th century throughout Wentworthville in a simple late Victorian style.

Physical Description

The item is a simple timber weatherboard cottage, painted yellow, with bullnose verandah to the front elevation. The gable main roof and verandah have new galvanised iron cladding and guttering. The gable ends have two timber finials which appear to be replacements. The roof also features a painted brick chimney with stepped brick course and a chimney pot. The verandah is supported on replaced timber verandah posts with decorative timber corner brackets. The timber posts and bracket are coated in red paint. The windows to the front elevation are paired timber-framed casement windows with small coloured panes to top & bottom. They have simple timber sills with a decorative timber skirt. The front façade features rusticated board while the side elevations are ship lapped board. A rear addition is clad in fibro sheeting with a skillion roof.

The rear landscape is predominately concrete slabbed. A contemporary toilet block is built adjacent the cottage with ship lapped weatherboards and a skillion roof clad in pressed metal sheeting. Further back, the site contains a gabled roof pergola. The rear of the site is enclosed by a modern steel balustrade fence.

The front landscape features paved retaining gardens with bullnose brick capping. A curved brick footpath with a red steel handrail is located to the north and adjoins the verandah. The southern boundary has many established and mature trees. Access of the site has been altered to account for the new function for the Occasional Child Care Association NSW.

The building appears to have been recently renovated and is in a good condition overall.

Condition	Good	Fair	Poor
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Alterations and Additions

- New roof sheeting
- Replaced finials
- Replaced timber brackets and post
- New paint scheme*
- Rear skillion roof, fibro clad addition
- Rear toilet block
- Rear gabled roof pergola
- Rear concrete slab
- Access - Paved entry to item, including a ramp with a balustrade*
- Boundary fence (steel balustrade fence)

The building appears to be highly modified, though the replacement of degraded fabric has been undertaken on a like for like basis including timber elements of the verandah and roof. The building retains its form and scale, though the overall access and landscaping of the site has been altered significantly to account for the new function for the Occasional Child Care Association NSW. The integrity is considered moderate.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	Unknown, likely late nineteenth century
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville

area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is an early surviving cottage on land originally granted to D'Arcy Wentworth and subdivided 1881 as the "Wentworthville Estate". Lane Street (originally First Street) was subdivided into small allotments in the first subdivision. The property was last sold in 1993. At present the site is occupied by Occasional Child Care Association NSW.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

		11. The condition of this item is poor. Condition and maintenance should be monitored.		
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Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Cottage	I263
Heritage Study	Federation Cottage	I263
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling from the footpath along Lane Street.



Front landscape setting as viewed from the driveway.




Enclosed childcare space to the rear of the dwelling.



Enclosed childcare space to the rear of the dwelling.

Heritage Inventory Sheet

Item Name	St Andrew's Presbyterian Church, Federation Carpenter Gothic church, circa 1923		
Recommended Name	St Andrew's Presbyterian Church		
Site Image			
Address	5A McKern Street, Wentworthville NSW 2145		
Lot/Section/DP	4	-	7330
Draft Cumberland LEP ID	I264		
Former LEP ID	I136 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Religion	

Curtilage Map



Statement of Significance

St Andrew's Presbyterian Church is of local significance for its historic, associative, aesthetic and social values. Built in 1840 in the heart of Parramatta and completed by 1849, the Church is historically significant as the first Presbyterian Church built in Parramatta. Importantly, it was relocated stone by stone to its present site on McKern Street, Wentworthville in 1925. The Church is historically associated with early colonial architects James Hume and James Houison, and Superintendent of Bridges, David Lennox who designed the masonry. St Andrew's Presbyterian Church is one of the few buildings designed by the David Lennox and is an important early example of a Victorian Gothic church. Although it was relocated from its original site in Parramatta, which is the source of some the church's original historical site associations and architectural integrity, the relocation of the item reflects the social significance that the Church held to the local Presbyterian community of Parramatta and Wentworthville. This community was also involved in the physical reconstruction of the Church at its present location in Wentworthville. The church has aesthetic significance for its use of sandstone and its pinnacle tower which forms a prominent local landmark in Wentworthville, significant for its continued appreciation and use by the local Presbyterian community.

Criteria Assessment

a) Historic	Built in 1840 in the heart of Parramatta and completed by 1849, the Church is historically significant as the first Presbyterian Church built in Parramatta. Importantly, it was relocated stone by stone to its present site on McKern Street, Wentworthville in 1925.
b) Associative	The Church is historically associated with early colonial architects James Hume and James Houison, and Superintendent of Bridges, David Lennox who designed the masonry. St Andrew's Presbyterian

	Church is one of the few buildings designed by David Lennox and is an important early example of a Victorian Gothic church.
c) Aesthetic/Technical	The item retains aesthetic significance as an intact Victorian Gothic Church, although rebuilt in 1925 in Wentworthville which may have compromised some of its architectural integrity.
d) Social	Although it was relocated from its original site in Parramatta, which is the source of some the church's original historical site associations and architectural integrity, the relocation of the item reflects the social significance that the Church held to the local Presbyterian community of Parramatta and Wentworthville. This community was also involved in the physical reconstruction of the Church at its present location in Wentworthville.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

St Andrew's Presbyterian Church is a sandstone Victorian Gothic church built to a traditional plan with a central aisled nave and square belltower - with castellated parapet & square corner pinnacles at the corners over the principle entrance. The church features lancet headed windows and doors, and small buttresses along nave (side) walls and at the corners of the tower. The stonework features shallow decorations on the face of the tower including circular & quatrefoil motifs.

The church grounds has a range of buildings of varying ages. A c.1960 red brick church hall with narrow timber framed windows painted white and terracotta tile roof is adjacent to the church. A contemporary building is built to the rear. The church remains prominent within the streetscape with minimal landscaping to obscure the church frontage. There is one established conifer located to the southeast corner, near McKern Street.

The building appears to be in a fair condition, although the sandstone shows some signs of discolouration and biological growth.

Condition	Good	Fair	Poor
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Alterations and Additions

- Church rebuilt stone by stone in Wentworthville between 1925-1928
- Church hall built adjacent to the church, c.1950-60s
- A contemporary building is located at the rear of the church

Although the church was rebuilt in this location, it appears to retain much of its original architectural detailing. The item retains a moderate level of integrity.

Integrity	High	Moderate	Low
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** element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	Originally constructed in 1840, relocated to Wentworthville in 1925-1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville

area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

St Andrews Presbyterian Church in Wentworthville was originally located in Church Street, Parramatta. The government had provided a site in Parramatta for the Presbyterian Church in 1837. The architect of the Church was James Hume, with some contribution from architect James Houison, often referred to as Parramatta's 'forgotten architect'. The church was built by Thomas Orr with the masonry designed by David Lennox in 1840 and completed in 1849. By the 1920s the Presbyterian Church required a larger building to accommodate the community of Parramatta. As a new church was built in Parramatta to replace St Andrews Presbyterian church, it decided the Church would not be demolished, but relocated "stone by stone" to its present site on McKern Street, Wentworthville in 1925. The reassembled Church was completed by 1928. The Church remains in use for religious activities.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	X
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	St Andrew's Presbyterian Church, Federation Carpenter Gothic church, circa 1923	I264
Heritage Study	St Andrew's Presbyterian Church, Federation Carpenter Gothic church, circa 1923	I264
National Trust Australia Register	St Andrew's Presbyterian Church	No ID number

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of church hall (left) and church (right).



View of church hall (left) and church (right).




Front façade of church.



Original location in Parramatta (Source: State Library of Victoria, Kerry & Co 'St Andrews Ch. Parramatta, September 20 1932).

Heritage Inventory Sheet

Item Name	Federation Period Cottage		
Recommended Name	Federation Cottage		
Site Image			
Address	30 Monash Street, Wentworthville, NSW 2145		
Lot/Section/DP	64	4	963
Draft Cumberland LEP ID	I265		
Former LEP ID	I137 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 30 Monash Street, Wentworthville is of local significance for its historic, aesthetic and representative values. Built in c.1915, the property relates to the residential development that followed the second subdivision of the Wentworth Estate in 1912. The item retains its aesthetic significance as a small Federation period workers cottage with fine timber detailing. Although modified, the building has retained essential characteristics of the original building in scale, form and detailing. The building makes a positive contribution to the streetscape character and is readily identifiable among the historic building stock of the area.

Criteria Assessment

a) Historic	Built in c.1915, the property relates to the residential development that followed the second subdivision of the Wentworth Estate in 1912.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item retains its aesthetic significance as a small Federation period workers cottage with fine timber detailing. Although modified, the building has retained essential characteristics of the original building in scale, form and detailing. The building makes a positive contribution to the streetscape character and is readily identifiable among the historic building stock of the area.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item is representative of Federation period workers cottages built in the area.

Physical Description

The item is a single storey weatherboard cottage on brick foundations with a bullnose verandah that extends along the front facade. The original house has a gabled roof with timber finials at either end. There is a single painted brick chimney on the eastern side of the roof. The verandah has simple timber posts, decorative timber frieze and brackets, painted corrugated iron roof sheeting and timber floorboards. A symmetrical facade to the street has a single timber and glass panelled door with single timber framed double hung windows on either side. All window openings have simple timber architraves and sills. An aluminium sliding window has been installed into an early window opening on the west. A large skillion lean-to extends to the rear and has weatherboard and fibro walls and appears to have been constructed in at least two stages. At the south western corner is a gabled extension with similar weatherboard walls, corrugated iron roof, and aluminium sliding and timber sash windows with adjustable canvas awnings.

The dwelling is located on a long narrow block and appears to retain its original subdivision boundary. The house is located close to the street alignment, with a short narrow grassed driveway on the western side. To the street is a painted timber paling fence and small cottage garden. A garden with wild bushes frames a central brick paved footpath.

The dwelling presents a well-maintained house in a good condition, with roof sheeting and the weatherboards replaced and re-clad.

Condition	Good	Fair	Poor
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Alterations and Additions

- Replaced weatherboards
- Replaced corrugated roof sheeting
- Rear extension with weatherboard cladding and corrugated iron roof (extended in phases)
- Addition of adjustable canvas awnings in 1994
- An aluminium sliding windows installed into an early window opening on the west*

Although modified, the building is considered to retain a moderate level of integrity. Significant fabric has been replaced on a like for like basis conserving the built heritage values of the item.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c.1915
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The subject property is located on land that formerly formed part of 2200 acres originally granted to D'Arcy Wentworth in 1819. In 1882, the property formed part of 488 acres of land between the Great Western Railway and Great Western Road acquired by Fitzwilliam Wentworth. Wentworth began to subdivide the land from 1881, however only those blocks near the recently opened railway line were sold.

It was not until 1890 that the subject property (Lot 64 Sec.4 comprising approx. 1/4 acre), was purchased by a local bricklayer of Wentworthville, Frederick Weekes. At this time, the property is noted on Fullagar Street, later to become the present Monash Street. The property was acquired by John George Weekes in 1900, and re-subdivided in 1912 which reduced the size of the allotments. Although the exact date of construction is unknown, the cottage was most likely constructed for J. G. Weekes in the first decade of the 20th century, possibly to match the adjoining house at No. 28. Although this has since been lost as No.28 was demolished. The property was purchased by local storekeeper, Francis Dobson in 1937. Francis Dobson had a large shopfront by the railway station built in 1928. In recent years, building applications have included a brick veneer addition in 1993 and an awning in 1994.

The building remains in use as a private dwelling.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.	X	13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation Period Cottage	I265
Heritage Study	Federation Period Cottage	I265
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Front façade and fence.




Overview of the dwelling from the street showing the western elevation.



Overview of the dwelling from the street showing the driveway.

Heritage Inventory Sheet

Item Name	Inter-war shopfront with Federation influences		
Recommended Name	Inter-War Shopfront with Federation Influences		
Site Image			
Address	2-4 Station Street, Wentworthville NSW, 2145		
Lot/Section/DP	G & H	-	DP 393510
Draft Cumberland LEP ID	I266		
Former LEP ID	I138 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	August 2019		
Significance Level	LOCAL		
Site Type	Level 1	Built	

	Level 2	Retail
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Curtilage Map



Statement of Significance

The item is of local significance for its historical, associative and aesthetic values, and as a representative example of suburban commercial architecture. The façade is significant for the evidence it provides of the early commercial development of Wentworthville in association with the development of important transport routes. This building has some associative significance as a shop leased to George Maunder who was a long-serving mayor for Holroyd. While the building has some aesthetic significance as a streetscape element, the quality of the building has been reduced by unsympathetic alterations to the shopfronts at the street level.

Criteria Assessment

a) Historic	The item related to the early twentieth century commercial development of Wentworthville.
b) Associative	The item is associated with a notable local identity, George Maunder, a long-standing mayor of Holroyd, who had a lease at this property.
c) Aesthetic/Technical	The item has some aesthetic significance, as a streetscape element, although the aesthetic value of the building has been reduced by unsympathetic alterations to the shopfronts at the street level.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.

f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The building is a two-storey structure with face brick and Arts and Craft detailing above the awning and contemporary aluminium shop front below the awning. The suspended steel framed awning features a decorative battened underlining and corrugated steel cladding overlining. Steel rods are fixed to two rendered piers which frame face brick façade above.

Above the awning the façade is symmetrical and features two sets of timber framed casement windows with bracketed flat hood. These are surmounted by decorative frieze featuring ceramic tile and rendered details bearing the date '1929' in relief. A broken parapet with curved feature is a prominent element of the façade and conceals a sloped roof behind.

At ground floor level both shop fronts have been heavily modified with a glazed and aluminium entrance to both No. 2 and No. 4, as well as a steel roller door closing off the opening of No. 4. The rear of the building features an enclosed, skillion-roof section at ground level of brick construction with timber and aluminium windows. An uncovered terraced area is at the rear of the building with a small carport/garage area at the property boundary.

Adjacent is another pair of shops of a similar height at 6-8 Station Street (Item 107B) of rendered brick construction with Spanish Mission detailing including a central pediment, parapet mouldings and half-round hood mouldings to the windows. The two buildings as a pair positively contribute to the streetscape. A drive runs along the northern boundary of the property to access the rear.

The building is generally in a good condition although there is paint peeling to bracketed hoods on casement windows and some cracking to the parapet on the northern end of the front façade.

Condition	Good	Fair	Poor
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Alterations and Additions

- Aluminium shopfront windows
- New roller doors to No. 4
- New security system
- Contemporary signage*

The first floor of the shopfront has remained relatively intact and has high integrity, however, as the ground level has been significantly modified the shopfront is considered to be of moderate integrity.

Integrity	High	Moderate	Low
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* element detracts from the overall cultural significance of the place

Historical Notes

Construction years	1929
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was

not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The urban growth and population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

Prior to the current brick buildings, the commercial structures in this location were single storey shopfronts with residences to the rear. The brick two-storey structures were developed in 1928 shortly before the adjacent Dobson House at 6-8 Station Street. Historic photos show sandstone urns decorating the end columns. Ethel Golding purchased portions of lots 4 and 5 of Station Street near the train station. After the site was developed, one of the shops was leased to George Maunder as a newsagent. Maunder was a twice-serving mayor of Holroyd, between 1941-1946, and 1951-55. The property has been sold a number of times, including subdivision of the building into two separate properties in 1955. An application for an outbuilding was made in 1994.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			

5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).		
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- Should the opportunity arise, undertake repairs to timber elements such as windows and awning linings.
- The street facades of 2-8 Station Street should be retained intact. Impacts on one property may impact the significance of the adjacent property.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Shopfront with Federation Influences	I266
Heritage Study	Inter-war Shopfront with Federation Influences	I266
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1993	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, Wentworth, D'Arcy (1762-1827), Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Futurepast Heritage Consulting. 2015. "Statement of Heritage Impact for minor works to 4 Station Street, Wentworthville", Unpublished.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.

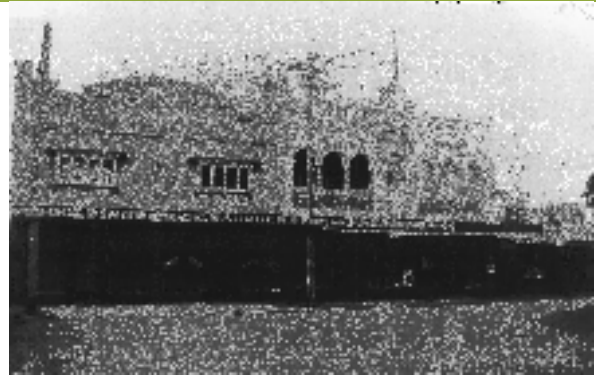
Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images




Front façade and northern elevation of shopfront.



Historic photograph of Dobson House, date unknown (Source: Holroyd Heritage Study).

Heritage Inventory Sheet

Item Name	"Dobson House", Federation/Inter-war period shopfront		
Recommended Name	'Dobson House' - Federation/Inter-War Shop		
Site Image			
Address	6-8 Station Street, Wentworthville, NSW 2145		
Lot/Section/DP	1 & 2	-	DP 803586
Draft Cumberland LEP ID	I267		
Former LEP ID	I139 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Retail	

Curtilage Map



Statement of Significance

The façade of the shops at 6-8 Station Street, Wentworthville is of local significance as part of a group with the adjoining shops at 2-4 Station Street. The façade has historic significance as evidence of a major period of urban growth for the community of Wentworthville relating to the development of important transport routes. The shopfront has aesthetic significance through its contribution to the main streetscape, as well as its paired relationship with the adjacent property. It has Mediterranean architectural features to its façade, which is uncommon in its local context. The Station Street shop facades are one of the few remaining intact examples of early shop facades in Wentworthville.

Criteria Assessment

a) Historic	The item represents a major period of urban growth for the community of Wentworthville relating to the development of important transport routes.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item has aesthetic significance, particularly its contribution to the main streetscape, as well as its paired relationship with the adjacent property. It has Mediterranean architectural features to its façade, which is uncommon in its local context
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The subject building, known as 6-8 Station Street, is a three-storey commercial building constructed in 1928. The original building is divided into two sections, the front and the rear. The front section is a three-storey section with painted brick parapet and sloped roof. The rear section is a deep gable-roof wing.

The front façade forms a prominent element in the streetscape. There are two ground level shops with aluminium windows and entrance however, the glazed tiling at the base has been retained. Separating the ground level and upper façade levels is a suspended metal awning. Above the awning is a central bay that is expressed forward beyond the main façade with one window in the centre. On either side of this central bay is a set of three casement windows with arched fanlight, classical columns at the join of each arch. The fanlight glazing to the central façade section, as well as to No. 6 is still intact, however, the fanlights to No. 8 have been infilled either with timber board, or painted white. The moulded rendered parapet expresses a deco style, with the central bay embossed with 1928 with a flagpole in between.

In 1998, the building was described as having corrugated iron roofing, and the brick rear and side facades and timber windows with rendered sills intact. The gable-roof rear addition has a central brick chimney, and there is a narrow verandah to the second floor of No. 6. There are a number of sheds and outbuildings across both properties.

The shops front Station Street and are separated from the road by a footpath.

The building has been well-maintained apart from some paint peeling from the upper level of the façade. The shopfront is in a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

- New outbuilding elements to rear
- Aluminium shopfront windows and entrance*
- Contemporary signage*
- Modified cladding and signage to awning
- Fanlights to upper storey windows infilled with timber board or painted white at No. 8*

The façade of the upper storey of the shopfront has remained relatively intact and has high integrity, however, as the ground level has been significantly modified with aluminium windows and contemporary signage, the shopfront is considered to be of moderate integrity.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	1928
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents

to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The urban growth and population of the area is attributed to the establishment of the Bonds Industries Limited. George Bond's company, George A. Bond & Co opened the first cotton spinning mill in Australia in 1923. The company prospered and in June 1920, Bond converted his enterprise into a public company which led to an increase of jobs within the area. In the 1920s, there were 500 people employed at the mill, with the majority being women. By the mid-1930s there were almost a thousand staff in the Cumberland area employed.

Prior to the construction of Dobson House, there were single storey commercial shopfronts with residences to the rear in this location. The current three-storey structure was built in 1928 just before the adjacent two-storey structure at 2-4 Station Street. Historic photographs show the arched windows were intended to be an open verandah, which at some stage was infilled with the current casement windows. Today, the site is still used as a commercial property.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		

		11. The condition of this item is poor. Condition and maintenance should be monitored.		
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Other recommendations and/or comments:

- Should the opportunity arise, undertake repairs to timber elements such as windows and awning linings.
- The street facades of 2-8 Station Street should be retained intact. Impacts on one property may impact the significance of the adjacent property.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Dobson House”, Federation/Inter-war period shopfront	I267
Heritage Study	“Dobson House”, Federation/Inter-war period shopfront	I267
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, Wentworth, D’Arcy (1762-1827), Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, *Pictorial History Holroyd*, Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014, Wentworthville Railway Station Statement of Heritage Impact, MWH, Sydney.
- Auchmuty, JJ 1967, Wentworth, D’Arcy (1762-1827), Australian Dictionary of Biography.

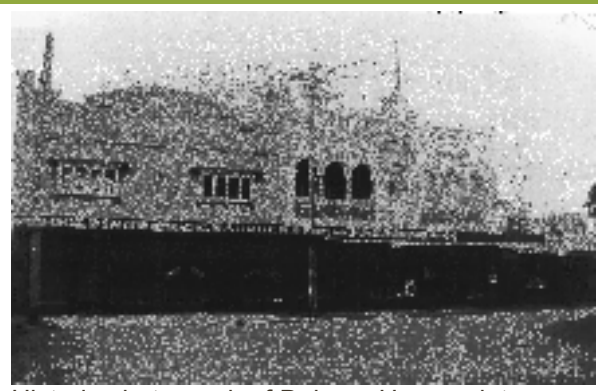
Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images




Dobson House as it sits on Station Street.



Historic photograph of Dobson House, date unknown (Source: Holroyd Heritage Study).

Heritage Inventory Sheet

Item Name	Memorial Fountain		
Recommended Name	Memorial Fountain		
Site Image			
Address	The Kingsway, Wentworthville NSW 2145		
Lot/Section/DP	-	-	-
Draft Cumberland LEP ID	I269		
Former LEP ID	I141 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	September 2019		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Monuments and Memorials	

Curtilage Map



Statement of Significance

The memorial fountain is of local significance for its associative, aesthetic, and social values, and as a rare memorial to the local area. The memorial fountain is unique and socially significant to the community of Wentworthville as it commemorates the death of notable local individuals. It is a representation of local sentiment and emotional expression towards its community members. The design and construction are uncommon and designed by architect Mr F.J. A Weller. The item's significance is enhanced by its prominent location between the commercial premises of Wentworthville town centre and the railway entrance, which serve to maximise its exposure and recognition.

Criteria Assessment

a) Historic	The item does not meet this criterion.
b) Associative	The item is associated with the local persons specifically commemorated on the memorial, as well as to the community of Wentworthville who erected the memorial.
c) Aesthetic/Technical	The item is a unique design with a dual function as a memorial and as a public utility.
d) Social	The item is socially significant to the community as it commemorates individuals from the community, and it was erected by the community.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item is rare as a community memorial commemorating the death of specific individuals.
g) Representativeness	The item does not meet this criterion.

Physical Description

The item is a freestanding brick memorial wall with sandstone capping surrounding a bronze plaque. The central front of the wall is tiled with a ceramic basin for the stainless-steel drinking fountain. The fountain sits on a two-step sandstone platform.

The Bronze plaque inscription reads:

Main inscription – “In memory of / Jack Walter Stanton and / James Alexander Tomlinson / who perished in the service of / God and their fellow men. / Drowned at Scarborough on / October 1, 1932. / Marked bravery was also displayed / on this occasion by Rita Tomlinson, / John Geoffrey Harper and Leo Stubbs”

Top surround – “Ho, Every one that thirsteth, come ye to the waters, buy without money and without price. Isaiah LV.1.”

Bottom Surround – “This fountain was erected by district residents / unveiled MCMXXM E.J.A. Weller ARAIA.”

The memorial is currently situated at the southern entrance to Wentworthville Railway station. The memorial has been reinstalled and remounted, likely to accommodate the railway TAP modifications. It has been relocated and reinstalled from its exact original position. A new brick wall has been constructed and is now shorter in length with two nib walls (presumably using the salvaged brick and sandstone from the truncated length) have been added to the memorial wall dividing it into three sections. The memorial has been retiled and framed and a new fountain tap has been added. The bronze plaque has been conserved.

The Memorial Fountain has been well maintained and is in a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

In c. 2014, the Memorial Fountain was relocated from original location adjacent Wentworthville Railway station to current location. The memorial has some modifications as a result of relocation:

- Memorial wall shorter in length
- Two nib walls added
- New tiling and framing to centre.
- New brick wall
- New fountain
- Polished concrete framing around bronze plaque

Although there have been significant modifications to the memorial including a new brick wall, new tiling and fountain tap, the modifications are sympathetic to the original heritage values of the memorial. The Memorial fountain has moderate integrity.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	1932
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Wentworthville

In 1819, after European settlement, the Wentworthville area came under the tenure of D’Arcy Wentworth. In accordance with normal custom, Wentworth’s salary as a medical officer was supplemented with land grants from the Colonial Government. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta

from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

In 1910, Wentworthville was again subdivided into Girraween. The suburb was created by real estate developer Arthur Rickard of Arthur Rickard & Co. Ltd who began subdividing the area near Toongabbie station during WWI. In this period, Pendle Hill, a locality within Wentworthville became a suburb changing its name from Wentworthville West to Pendle Hill in 1917. After the 1919 Local Government Act, all subdivisions had to be approved by local councils who examined their allotment sizes, layouts, and streets. Only when the location on a hilltop made a grid pattern subdivision undesirable did surveyors and promoters deviate from the norm, such as Dorothy Mount in Wentworthville (subdivided in 1916) and the Constitution Hill Estate (subdivided in 1924). Pendle Hill was another new subdivision that opened in 1927 and rapidly grew in popularity for its neat cottages and attractive gardens.

Memorial Fountain

The item commemorates the drowning death of two boys at Scarborough Beach, north of Wollongong, on 1 October 1932. On this day, a small Sunday School party of five teachers and sixteen students from St. Pauls Wentworthville went on a surfing excursion to Scarborough when two of the party got into difficulties in the surf. Jack Stanton (aged 22, of Dunmore Street) and James Tomlinson (aged 16, of Smith Street) entered the surf to assist and were drowned. Their bodies were washed ashore two weeks later. A service for the two men was given at St Pauls Wentworthville on 16 October 1932.

The construction of the memorial was largely a voluntary effort, with much of the funds locally donated, and materials and labour for the construction also reducing the final cost to around £70 if not for the donation of locals. The memorial may have originally had surrounding landscaping, which has long since been removed. The unveiling of the memorial was a largely celebrated local event.

Architect – E.J. A. Weller

Edward James Archibald Weller born in Warragul, Victoria in 1903 was an established modernist Australian Architect based initially in NSW before he moved to Queensland. Between 1918 and 1924 he was employed in an architect's office in Sydney, 'G.C Thomas and F.G Briggs' and also worked in an office of Walter Burley Griffin. He became fully registered Architect in Queensland in 1929. Prior to that he was employed by the Sydney Municipal Council for the construction of Bunnerong Power Station.

In 1966 E J Weller opened the Design Arts Centre in Brisbane which exhibited 'furniture, sculpture, pottery, paintings, glassware, jewellery, handweaving and woodwork. Its primary aim was to provide a showplace for local artists and craftsmen whose skills might otherwise be unknown. Weller's commitment to the promotion of art and local craftsmanship through the centre resulted in an invitation to become President of the Royal Queensland Art Society in 1954 and led to his election as Vice-President of the Queensland Division of the Craft Association of Australia in 1971.

A precursor to the Design Centre was the Brisbane Building Centre (Pty Ltd) located in the basement of the AMP building in Brisbane. First opened in 1935, the centre was also established by Weller. Modelled on the Building Centre in London, it was a commercial venture, with the aim to promote "better building through the attractive display of modern products". To this end, the centre offered customers access to a "service bureaux" where they could find information on modern materials and building processes.

E. J. A. Weller passed away in 1979, in Brisbane. He is remembered for many achievements, notably becoming the President of the Royal Australian Institute of Architects in 1954, the past President of the Queensland Chapter and for his association with the Department of Public Works in Brisbane.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- The fountain should be made operable if it is not at present.

Listings		
Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Memorial Fountain	I269
Heritage Study	Memorial Fountain	I269
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- The Mail, Saturday 1 October 1932, page 1. "Man and Boy drowned in breakers. Girl loses brother and sweetheart. Picnic tragedy."
- Sydney Morning Herald, Saturday 22 October 1932, Page 17. "Scarborough Tragedy"
- <http://monumentaustralia.org.au/themes/people/tragedy/display/99824-jack-stanton-and-james-tomlinson>
- Auchmuty JJ 1967, *Wentworth, D'Arcy (1762-1827)*, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, *Pictorial History Holroyd*, Kingsclear Books, Alexandria.
- Karskens, G. 1991. *Holroyd - A Social History of Western Sydney*. Sydney: University NSW Press.
- MWH 2014, *Wentworthville Railway Station Statement of Heritage Impact*, MWH, Sydney.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Detail of Memorial Plaque.



Memorial as it is currently situated at Wentworthville Railway Station.




Location of the Memorial Fountain prior to relocation. (Source: MWH 2014, p. 34).



Memorial Fountain prior to relocation. The item was located outside Kingsway access to Wentworthville railway station (Source: MWH 2014, p. 33).

Heritage Inventory Sheet

Item Name	Wentworthville Railway Station Group		
Site Image			
Address	The Kingsway, Wentworthville, NSW 2145		
Lot/Section/DP	Part of Lot 100	-	1042344
Current LEP ID	I282 (Cumberland LEP)		
Former LEP ID	I140 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	August 2024		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Transport - Rail	

Curtilage Map



Statement of Significance

Wentworthville Railway Station is of local significance for its historic, aesthetic, social, scientific and representative values. The site of Wentworthville Railway Station is of historical significance through its relationship to the development of the suburb of Wentworthville following the Wentworth Estate Subdivision and the original station's funding by land speculators. The present railway station redevelopment took place during the quadruplication of the Main Western Line between Parramatta and Blacktown in 1946. This group of buildings also shows the effects of war time financial constraints. The station buildings are of aesthetic significance as good examples of mid-twentieth century railway construction in an urban context, displaying distinctive elements of Inter-War Stripped Functionalist style including the use of bonded brickwork, Art Deco influenced parapet detailing, strong horizontal planes and steel awnings. The style is competently executed, displaying many typical stylistic elements of similar station buildings throughout the Western suburbs generally. The place has the potential to contribute to the local community's sense of place and can provide a connection to the local community's past. The station is of the same construction as those of the neighbouring stations Pendle Hill and Toongabbie. The station buildings provide opportunities together with Toongabbie, Pendle Hill and Seven Hills stations to study and understand mid-20th century building techniques.

Criteria Assessment

a) Historic

The site of Wentworthville Railway Station is of historical significance through its relationship to the development of the suburb of Wentworthville following the Wentworth Estate Subdivision and the original station's funding by land speculators. The present railway station redevelopment took place during the quadruplication of the Main Western Line between Parramatta and Blacktown in 1946. This

	group of buildings also shows the effects of war time financial constraints.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The station buildings are of aesthetic significance as good examples of mid-twentieth century railway construction in an urban context, displaying distinctive elements of Inter-War Stripped Functionalist style including the use of bonded brickwork, Art Deco influenced parapet detailing, strong horizontal planes and steel awnings. The style is competently executed, displaying many typical stylistic elements of similar station buildings throughout the Western suburbs generally
d) Social	The place has the potential to contribute to the local community's sense of place and can provide a connection to the local community's past.
e) Scientific	Wentworthville Railway Station is of technical significance for its ability to demonstrate design and construction techniques of the mid-20th century railway structures. The station buildings provide opportunities together with Toongabbie, Pendle Hill and Seven Hills stations to study and understand mid-20th century building techniques.
f) Rarity	The item does not meet this criterion.
g) Representativeness	Wentworthville Railway Station is a representative example of a small, mid-20th century railway station that is designed in the Inter War Stripped Functionalist style in an urban context, similar to Toongabbie and Pendle Hill Railway Stations. The footbridge was identified as an item of moderate heritage significance in the comparative analysis from the 2016 'Railway Footbridges Heritage Conservation Strategy'.

Physical Description

The following physical description has been quoted from the NSW Office of Environment and Heritage State Heritage Inventory listing sheet for 'Wentworthville Railway Station', last updated in 6 April 2009. As the description features a comprehensive physical description of both external and internal station elements, only minor amendments were made with regards to recent stations upgrade.

Wentworthville Railway Station was upgraded as part of Transport for NSW's Transport Access Program (TAP) between 2016-2017. The station precinct features a contemporary overhead concourse providing improved station accessibility and safety. The concourse is accessed via lift and stairs, and features platform canopies that extend from the concourse and along the platform entries. Other contemporary additions to the station precinct include lighting, signage, seating, opal machines, and bins.

STATION BUILDING PLATFORM 1/2 (1943)

External: The station buildings are identical to those at Toongabbie and Pendle Hill Railway Stations. The building on Platform 1/2 is larger than Platform 3/4 building and is a post war Functionalist style railway building. It is of face brick construction with low pitched gabled roof and brick parapets at each end with courses of recessed heeler bricks capped by a course of bullnosed bricks. The eastern end of the building is defined by a curved masonry bay with a single door. Centrally located on each parapet is an Art Deco style projecting vertical masonry fin constructed of heeler bricks in a contrasting colour. The parapets step down on each side from the fin. The roof is clad with Colorbond, which extends as an awning on all four sides of the building. The awning on the western end, which provides shelter to passengers purchasing tickets from the ticket window and the machine, is supported by two rectangular brick columns with curved corners. On Platform 1/2, one ticket window remains in use while the other is bricked up. Steel framed windows with three horizontal hopper panels (central panel fixed) are vertically proportioned and placed regularly on both platform elevations. A contemporary canopy connects the building from the underside of the original awning to the stairs and footbridge.

Note. The existing stairs from the footbridge were removed as part of the 2017-2017 TAP Upgrades.

Internal: Internally the building has a linear floor layout with series of rooms in various sizes including combined former booking/parcels office (now booking office and staff area) with storeroom, general waiting room, ladies room and toilets, men's toilets with a store room in the curved bay. The doors are secured by metal grill gates while the windows covered with security mesh. The entire original interior fit-out has been removed.

STATION BUILDING PLATFORM 3/4 (1943)

External: The station building on Platform 3/4 is approximately half the size of the Platform 1/2 building featuring the same detailing and architectural style with the exception of the curved bay on one end. It is of face brick construction with low pitched gabled roof and brick parapets at each end with courses of recessed heeler bricks capped by a course of bullnosed bricks. Centrally located on each parapet is an Art Deco style projecting vertical masonry fin constructed of heeler bricks in a contrasting colour. The parapets step down on each side from the fin. The roof is clad with Colorbond which extends as an awning on all four sides of the building. The awning on the western end, which provides shelter to passengers purchasing tickets from the ticket machine, is supported by two rectangular brick columns with curved corners. The building had two ticket windows, which are now blocked. Early timber doors are extant. The standard steel framed windows with three horizontal hopper panels (central panel fixed) are vertically proportioned and placed regularly on both platform elevations between the solid timber doors. A contemporary canopy connects the building from the underside of the original awning to the stairs and footbridge.

Internal: Internally the building has a linear floor layout consisting of a booking office, waiting room and out of room. The doors are secured by metal grill gates while the windows are covered by security mesh. The building is currently used for storage purposes. The internal finishes are the same as the other platform building with plasterboard panelled ceilings, hardboard flooring (booking office) and tile flooring (waiting room). The out-of-room has a metal sliding loading door and concrete floor.

PLATFORMS (1943)

Both island platforms have brick faces with concrete deck and asphalt surfaces. Platforms 1/2 also have sections of steel rail post and brick panel. Modern aluminium palisade fencing, timber bench seating, lighting and signage are located on both of the platforms.

FOOTBRIDGE (1941)

The footbridge is a steel beam structure with concrete deck and RSJ steel supports over the platforms and main lines with stairs to each of the platforms, and a ramp to street level on each side. It is of a simple structure with no ornamentation representing economic policies of the time. The footbridge and associated stairs and ramps are covered with corrugated metal awnings.

The TAP Upgrades substantially altered the existing footbridge with the incorporation of anti-throw screens within canopies to the full length of the footbridge, the widening of the concourse area with lift landing areas, and on the live rail side of the stairs to both The Kingsway and Wentworth Ave and the removal of stairs and associated structures to platform and incorporation of new roof canopies along the platform.

MOVABLE ITEMS

Plaque – brass, Centenary of the opening of the railway to Wentworthville 1 August 1885

Cast iron Ajax safe fixed to a concrete base in the booking office and a hidden floor safe which may, or may not be an early variety.

Booking office machine (BOM) including dispenser, computer, monitor, keyboard and associated equipment such as plastic coin trays etc

Small timber coin tray / box

Platform 3-4: SRA decal / sticker on platform ticket window, two pairs of metal door protectors / guards attached to doorways to parcels office, the booking office on Platform 3-4 has an original built in timber counter.

POTENTIAL ARCHAEOLOGICAL FEATURES

Wentworthville Railway Station has low archaeological potential with no evidence of the 1920s station buildings remaining.

Wentworthville Railway Station is a highly active station and presents a well maintained and operational site. The condition of the built elements is considered good.

Condition	Good	Fair	Poor
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Alterations and Additions

- The internal fitout of the station building
- Replaced roof sheeting to station building
- The Kiosk (built in c1954) was demolished in 2016
- Major station TAP upgrade completed between c.2016-2017*

While the TAP upgrade has substantially remodelled the site, key elements within the precinct remain relatively intact and representative of the core heritage values of the site. The integrity is considered to be moderate.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	1943-1946
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth was a substantial land holder in the early colony. He appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today.

The railway line was opened in 1860 and duplicated in 1886, with Wentworthville opening in 1883 as T R Smiths' Platform. The name Wentworthville was adopted in 1885 after Darcy Wentworth, whose grant was located on both sides of the railway. The station serviced a subdivision of this estate and was paid for by the speculators. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The first station buildings on the site were built in 1924, though they were removed for the construction of the present brick station buildings, dating from the time of the quadruplication of the line in 1946. The existing buildings follow the Inter-War Stripped Functionalist style and were part of the line quadruplication project between Lidcombe and St. Marys.

The pedestrian bridge dates from 1944 and is formed by steel beams. The use of ramps instead of footways was a common feature of footbridges between 1930 and 1960.

The station precinct was substantially altered in 2016-2017 with the Transport for NSW's TAP Upgrade program which saw the footbridge widened and enclosed with a new concourse area atop the station. Other new features included the reroofing of canopies extending from the concourse area to the station buildings and the introduction of lifts from the street elevation to concourse and from the concourse to the platform.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).			
5. The heritage curtilage for this item should be revised/reduced.	X	10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Previous Studies			
Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References	
▪	Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
▪	Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
▪	Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

- NSW Office of Environment and Heritage, State Heritage Inventory listing sheet for 'Wentworthville Railway Station'.
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- NSW Government Architect's Office Heritage Group. 2016. 'Railway Footbridges: Heritage Conservation Strategy', prepared for Sydney Trains.
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Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of railway station from Wentworth Avenue.



View of platform building from bottom of footbridge stairs.




Overview of footbridge.



Detail of platform end ramp.

Heritage Inventory Sheet

Item Name	Inter-war Bungalow		
Recommended Name	Inter-War Californian Bungalow		
Site Image			
Address	16 Veron Street, Wentworthville NSW 2145		
Lot/Section/DP	34A	-	302430
Draft Cumberland LEP ID	I270		
Former LEP ID	I142 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 16 Veron Street, Wentworthville is locally significant for its aesthetic and representativeness values. Built c.1924, the dwelling is a largely intact Inter-War Californian Bungalow. The building retains much of its original architectural detailing and is now a rare architectural style within a highly modernised residential streetscape of Veron Street. The building has an unusual streetscape character with the wide sweeping gable, deep setback and mature trees.

Criteria Assessment

a) Historic	The item does not meet this criterion.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The dwelling is a largely intact Inter-War Californian Bungalow. The building retains much of its original architectural detailing and is now a rare architectural style within a highly modernised residential streetscape of Veron Street. The building has an unusual streetscape character with the wide sweeping gable, deep setback and mature trees.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The dwelling is representative of a Federation period Californian Bungalow

Physical Description

The house is a single storey structure of hardiplank weatherboards with a wide low-pitched gable roof and an open front verandah. The roof consists of profiled steel sheeting and has a single rendered masonry chimney on the eastern side. The verandah has a separate gable roof with timber shingles at the gable end. The verandah is supported by pairs of timber posts on tapered rendered masonry piers at each end, with two central tapered timber posts on smaller piers. The verandah has a solid timber frieze, an infilled timber paling balustrade and floorboards. The front facade facing the verandah has stained horizontal pine boarding and a central door opening. The set of paired timber casement windows on the front facade either side of the verandah have leadlight infill. The windows and verandah post detailing are original. A hardiplank skillion roofed section extends the width of the rear façade has two single door openings and a small window opening. A wide timber pergola and deck is also located at the rear of the house.

The former listing sheet notes:

'Internally the building has timber boarded floors with a mixture of carpet and vinyl floor coverings, and decorative plaster ceilings with Art Deco motifs. The living room has an exposed face brick fireplace and cast iron fireplace surround.'

A concrete driveway runs along the eastern boundary and leads to a small garage with fibre cement sheet cladding and concrete tile clad roof. The item contains several established and mature trees. The deep setback and vegetation are a stark contrast to the surrounding residential high-rise development along Veron Street. The property appears to have retained its original subdivision boundary.

The item is a well-maintained property and is in good condition overall.

Condition	Good	Fair	Poor
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Alterations and Additions

- The house has been reclad in hardiplank and pine boarding to front facade
- Replaced timber balustrade infill and floorboards to verandah
- Replaced roof sheeting
- New paint scheme
- Rear skillion addition

The building retains its scale, form and some key detailing. Overall, the integrity of the item is considered moderate.

Integrity	High	Moderate	Low
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** element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c1924
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents

to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

The dwelling was originally part of the 1065 acre Government Domain. The subject property formed part of land granted to William Fullagar in 1859, who acquired extensive tracts in the present day Westmead and Wentworthville, particularly during the subdivision of the Government Domain. In 1913 approximately 89 acres were purchased by Charles Veron, grazier, who subsequently subdivided in 1914 and formed Veron Avenue.

Lots 33 and 34 of the subdivision, totalling almost 1/2 acre, were purchased by Annie Roberts in 1917, and James and Isabella Vine in 1920. The subject property (Lot 34) was individually purchased in 1922 by Frederick Daw, poultry farmer, who was to reside at the property until 1970. Daw first appears in the Sands in 1924 and Vine in 1923, indicating that the house was constructed for Daw after subdivision by Vine. Vine resided at the adjacent property (lot 33) until at least 1933. The property was purchased by John and Mary Stone in 1970. Works were carried out to the building in 1982/3. Property was purchase by John and Jenny Haub in 1985. Applications for building works have included a garage in 1950, pergola in 1988 and pool in 1995. The building remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.	X	14. Future uses for this item should be compatible with its historical functions/ associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Inter-war Bungalow	I270
Heritage Study	Inter-war Bungalow	I270
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.

2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.

3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



Overview of dwelling from Veron Street.




Detail of verandah.



Detail of window style and glazing.

Heritage Inventory Sheet

Item Name	“Dalremos”, Federation/Queen Anne Bungalow		
Recommended Name	‘Dalremos’ - Federation Bungalow		
Site Image			
Address	44 Veron Street, Wentworthville, NSW 2145		
Lot/Section/DP	26B	-	321872
Draft Cumberland LEP ID	I271		
Former LEP ID	I143 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 44 Veron Street, Wentworthville is of local significance for its historic and aesthetic values. Built in c.1923, the building relates to the residential development of Wentworthville that followed the subdivision of Government Domain and William Fullagar's land grants. The item is aesthetically significant as a fine and largely intact example of a Federation bungalow that retains typical period detailing. The dwelling makes a strong contribution to the streetscape and is readily identifiable as part of the historic building stock.

Criteria Assessment

a) Historic	Built in c.1923, the building relates to the residential development of Wentworthville that followed the subdivision of Government Domain and William Fullagar's land grants.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The item is aesthetically significant as a fine and largely intact example of a Federation cottage, that retains typical federation period detailing. The dwelling makes a strong contribution to the streetscape and is readily identifiable as part of the historic building stock.
d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The item is a single storey face brick cottage in the Federation style. The building features a hipped roof clad in terracotta tiles and gabled wings extending to the north (street frontage) and east. The roof has a face brick chimney with a terracotta chimney pot on the eastern side. The gable ends are half timbered and rough cast rendered, with a set of triple casement windows with coloured dimple glass high lights, painted sills and a fixed timber bracketed awning. The walls are face brick with the front façade showing evidence of tuck pointing. A recessed verandah wraps around the northeast corner and is supported on a pair of timber posts with simple timber brackets and a decorative infill between the posts. There is a simple timber posted balustrade. The front door adjacent the north gable wing is timber and glass panelled. A similar triple casement window with coloured glass high lights is adjacent. The second door at end of the east verandah is partially glazed. There is a small, low-scale addition to the rear.

The property is located on a standard suburban block. There is no landscaping at the front as the entire front section is covered by a concrete slab and used as car parking. An extension of the concrete driveway on the west leads to a single garage at the rear of the property. The garage has a new aluminium roller door. There are, however, a number of mature trees located along the street verge and rear boundaries. A low timber picket fence to the street alignment is later addition in a sympathetic style. The property appears to retain its original subdivision boundary.

Overall the condition of the building appears to be good, with evidence of repointing of mortar joints along the front façade and below the windowsills on the western elevation.

Condition	Good	Fair	Poor
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Alterations and Additions

- The roof may have been retiled
- Rear addition
- Tuck pointing to street facade repointed in c.1990s
- Timber balustrade may have been replaced
- Timber picket fence added

Overall the integrity of the building is considered to be high with minor alterations made to the built fabric and landscape.

Integrity	High	Moderate	Low
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** element detracts from the overall cultural significance of the place*

Historical Notes

Construction years	c.1923
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In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The subject property formed part of the 1065-acre Government Domain, that was later acquired by Fullgar. In 1913, approximately 89 acres were purchased by Charles Veron, a grazier, who subsequently subdivided the area in 1914, forming Veron Avenue. Lot 26 of the subdivision was purchased by Alfred Giggs, a fire brigade employee, in 1914. The land was subsequently purchased by George Winterton in 1917, and Charles and Lilly Lawson in 1919. E Lawson is first listed in the Sands Directory in 1923, Lot 26B, forming the subject site, was individually purchased by Leslie James Lawson in 1928. Applications for building work included garages in 1950 and 1991, an addition in 1991, and an awning in 1992. The dwelling remains in use as a private residence.

Recommendations					
Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	
4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X		
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X		
		11. The condition of this item is poor. Condition and maintenance should be monitored.			

Other recommendations and/or comments:

- Should the opportunity arise, the concrete landscaping around the base of the building should be removed and replaced with a more permeable material to ensure the building is protected from rising damp.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	“Dalremos”, Federation/Queen Anne Bungalow	I271
Heritage Study	“Dalremos”, Federation/Queen Anne Bungalow	I271
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, ‘Wentworth, D’Arcy (1762-1827)’, Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations


- Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
- Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
- Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of dwelling from Veron Street.

Heritage Inventory Sheet

Item Name	Federation/Queen Anne Bungalow		
Recommended Name	Federation Cottage		
Site Image			
Address	57 Veron Street, Wentworthville NSW 2145		
Lot/Section/DP	1	-	1063853
Draft Cumberland LEP ID	I272		
Former LEP ID	I144 (Holroyd LEP)		
Heritage Conservation Area	Not included		
Date Updated	February 2020		
Significance Level	LOCAL		
Site Type	Level 1	Built	
	Level 2	Residential Buildings (private)	

Curtilage Map



Statement of Significance

The dwelling at 57 Veron Street, Wentworthville is of local significance for its historic and aesthetic values. Built c.1920-23, the building is historically linked with the residential development of the area that followed the major subdivision of the Government Domain and William Fullagar's land grant. The building has aesthetic significance as a Federation cottage with a variety of materials and fine decorative detailing with Queen Anne influences. Of particular note, is the use of weatherboard cladding to resemble masonry blockwork, the varied roofline and strong decorative theme. The deep setback adds to the visual prominence of the house within the street. Although the house has been closed in by later medium density subdivisions and developments, it still retains a strong presence in the street.

Criteria Assessment

a) Historic	Built in c.1920-23, the building is historically linked with the residential development of the area that followed the major subdivision of the Government Domain and William Fullagar's land grant.
b) Associative	The item does not meet this criterion.
c) Aesthetic/Technical	The building has aesthetic significance as a Federation cottage with a variety of materials and fine decorative detailing with Queen Anne influences. Of particular note, is the use of weatherboard cladding to resemble masonry blockwork, the varied roofline and strong decorative theme. The deep setback adds to the visual prominence of the house within the street. Although the house has been closed in by later medium density subdivisions and developments, it still retains a strong presence in the street.

d) Social	The item does not meet this criterion.
e) Scientific	The item does not meet this criterion.
f) Rarity	The item does not meet this criterion.
g) Representativeness	The item does not meet this criterion.

Physical Description

The item is a single storey cottage in the Federation style with a gabled hip roof of cement tiles and a broken back verandah to three sides (the south, east and west). The roof has a rendered masonry chimney on the eastern side. The dwelling features an unusual wall cladding that is profiled to resemble blockwork, and further manipulated to resemble rough cut profile quoins on the corners. The verandah has two gabled returns to the south and a southeast chamfered corner and is supported on timber posts set on rendered masonry piers on a concrete floor with tiles. A decorative geometric valance runs the length of the verandah, except where removed along the western edge and a metal carport is attached. The eastern end of verandah has been partially infilled with rendered masonry and extends past verandah line with a new skillion roof of similar tiles. Gable ends to the verandah have diamond motif and decorative barge boards. The floor of the verandah is concrete. The front facade is symmetrical, with a central timber and glass panelled door with side and top lights. Timber framed casement windows grouped in fours with feature coloured glass top and bottom panes. Top lights and rendered sills are located on either side of the door. An original timber and glass panelled French door and top light is located on the chamfered corner. The door openings on the western elevation have aluminium security grilles. The rear has been extended with skillion and flat roofed additions, with rendered masonry walls and steel roof sheeting.

The cottage retains a deep setback from the street. There is minimal landscaping to the front. There are two tall palm trees located to the east and west side of the recently rendered garden bed fronting the verandah. The property is bounded by a high steel loop and palisade fence. The railway line to the rear is elevated and screened by tall plantings. The dwelling is situated next to a large residential development to the east and a single storey residence to the west.

Overall, the condition of the building appears to be good and well maintained. All timber elements appear to feature a fresh coat of paint and in a good condition.

Condition	Good	Fair	Poor
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Alterations and Additions

- Enclosed portion of the eastern verandah
- Rear skillion and flat roofed extensions
- Carport attached to the western elevation
- Diamond motif to gable end does not appear to be original
- Garage added in 1984
- Carport added in 1985
- Pergola added in 1991

Overall the building appears to have high integrity, although slightly modified. The building retains scale and form and has not been adversely impacted by the rear additions.

Integrity	High	Moderate	Low
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* *element detracts from the overall cultural significance of the place*

Historical Notes

Construction years c.1920-23

In 1819, after European settlement, the Wentworthville area came under the tenure of D'Arcy Wentworth. Wentworth (1762-1827) was an Irish medical practitioner and public servant who settled in Australia in June 1790. Wentworth was a substantial land holder in the early colony, he appears to have obtained his first grant of about 147 acres at Parramatta from Governor Hunter in 1799; by 1821, he had been awarded a total of 17,000 acres, 2200 acres of which were located in the Wentworthville area. When he passed away in 1827, his will disposed of approximately 22,000 acres of land which was eventually subdivided into the existing allotments of Wentworthville today. The sites closest to the railway line were sold and developed first because of its proximity to the railway line, although it was not until 1883 that Wentworthville received a station known as T.R Smith's Platform. The name Wentworthville was later adopted in 1880. The establishment of the railway station attracted residents to the area, Wentworth's holdings were subdivided into 600 lots. Wentworthville was proclaimed a town in 1890.

Another major landholder in the area was William Fullagar, a butcher and publican turned stock agent. Part of the suburb of Wentworthville originally formed a part of the western part of the Domain of Government House at Parramatta (known as Parramatta Park by the 1850s). An extensive portion of the Domain was subdivided in 1859-1861 and it was at this time that Fullagar acquired the land.

The subject property formed part of the 1065 acre Government Domain and land acquired by William Fullagar. In 1913 approximately 89 acres were purchased by Charles Veron, grazier, who subsequently subdivided in 1914 and formed Veron Avenue. Lots 21-22 & 41 were purchased by Michael Wasilowski, a local carpenter, in 1917. Part lot 21 was later purchased by Joseph James Smith, a labourer, in 1920. It would appear the house was constructed shortly after, as Smith is first listed in the Sands in 1923. Smith is listed in the Sands Directory until 1933.

The present property boundaries were formed in 1943, when the property was purchased by Garey Elliott. A section of land at the rear was resumed by the railway at this time. Mark Bullivant purchased the property in 1984. Applications for building work were for a pool in 1975, garage and awning in 1984, carport in 1985, and pergola in 1991. The building remains in use as a private residence.

Recommendations

Heritage Management		Existing Built and Landscape Elements		Future Development and Planning	
1. Maintain this item's heritage listing on the LEP.	X	6. Original fabric is highly significant and should be maintained.	X	12. Alterations and additions should respond to the existing pattern of development, with careful consideration of the setting (form, scale, bulk, setback and height).	X
2. Maintain this item's listing as part of the Heritage Conservation Area.		7. Unsympathetic alterations that detract from the cultural significance of the item should be removed.		13. New alterations and additions should respect the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X
3. Consider delisting as an individual item from the LEP.		8. Maintain heritage landscape elements and schemes.		14. Future uses for this item should be compatible with its historical functions/associations.	

4. Consider additional research to nominate this item for the State Heritage Register.		9. Maintain the existing setting of the heritage item, informed by the historic pattern of neighbouring development (form, scale, bulk, setback and height).	X	
5. The heritage curtilage for this item should be revised/reduced.		10. Maintain the historic aesthetic/character of the item and area (e.g. paint scheme, materiality, style, landscape elements).	X	
		11. The condition of this item is poor. Condition and maintenance should be monitored.		

Other recommendations and/or comments:

- None.

Listings

Heritage Listing	Listing Title	Listing Number
Heritage Act – State Heritage Register	N/A	-
Local Environmental Plan	Federation/Queen Anne Bungalow	I272
Heritage Study	Federation/Queen Anne Bungalow	I272
National Trust Australia Register	N/A	-

Previous Studies

Type	Author	Year	Title
Heritage Study	Extent Heritage Pty Ltd	2019	Cumberland LGA Heritage Study
Heritage Study	Graham Brooks and Associates Pty Ltd	1998	Holroyd Heritage Inventory Review
Heritage Study	Neustein & Associates	1992	Holroyd Heritage Study

Other References

- Auchmuty, JJ 1967, 'Wentworth, D'Arcy (1762-1827)', Australian Dictionary of Biography.
- Elias, J and Coppins, S 2013, Pictorial History Holroyd: Girraween, Guildford, Mays Hill, Merrylands, Pemulwuy, Pendle Hill, Prospect, Smithfield, Toongabbie, Wentworthville, Westmead, Woodpark, Yennora, Kingsclear Books, Alexandria.
- Karskens, G. 1991. Holroyd - A Social History of Western Sydney. Sydney: University NSW Press.

Limitations

1. Access to all heritage items was limited to a visual inspection from the public domain. The interiors of buildings and inaccessible areas such as rear gardens were not assessed as part of this heritage study.
2. Condition and site modification assessment was limited to a visual inspection undertaken from the public domain.
3. Unless additional research was required, historical research for all heritage items was based on an assessment of previous LGA heritage studies, the Thematic History (prepared by Extent Heritage, 2019) and existing information in former heritage listing sheets.

Additional Images



View of dwelling from entry to driveway along Veron Street.



View of dwelling and boundary fence from Veron Street, showing medium density development adjacent to the site (right).



View along Veron Street, showing medium density development in the background.